

## Site Conditions/Data

### BASIS OF DESIGN:

NUMBER OF BEDROOMS 3  
 DAILY FLOW 330 GALLONS / DAY  
 SEPTIC TANK 1000 GALLONS  
 PERCOLATION RATE <5 MIN / IN  
 LENGTH OF ABSORPTION FIELD 150 FT  
 TYPE OF SYSTEM  
 STANDARD ABSORPTION TRENCH

NUMBER OF TRENCH 3  
 PROPOSED TRENCH LENGTH 50 FT  
 SOIL TYPE SANDY LOAM  
 DEPTH OF PERC TEST HOLE 24 IN  
 PERCOLATION TEST 12/17/2021  
 DEEP HOLE SOIL ANALYSIS  
 DEPTH TO BEDROCK >4'  
 DEPTH TO HIGH WATER TABLE >4'

### NOTE:

SEE ATTACHED SHEETS FOR SYSTEM  
 ELEMENTS AND SPECIFICATIONS  
 DIVERT SURFACE DRAINAGE  
 AWAY FROM SYSTEM ELEMENTS

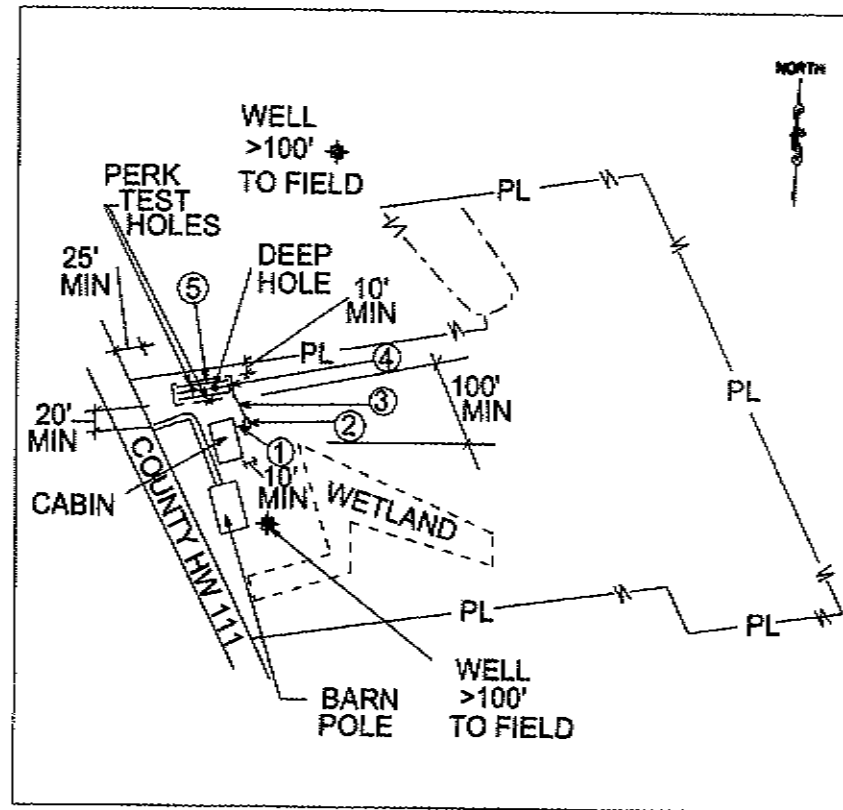
### PROJECT SITE

TOWN OF  
CAROGA



### WARNING:

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW  
 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF  
 A LICENSED PROFESSIONAL ENGINEER TO ALTER THESE PLANS  
 IN ANY WAY. IF ALTERATIONS OF THESE PLANS ARE REQUIRED,  
 THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE  
 145, SUBSECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.



## SITE PLAN

WASTE WATER  
 TREATMENT  
 SYSTEM FOR  
 FALVO  
 PROPERTY  
 TOWN OF CAROGA

FALVO  
 300 CO HIGHWAY 111  
 CAROGA, NY

RITA CARLSON, PE  
 1119 ROSE VALLEY RD  
 COLD BROOK, NY



Details

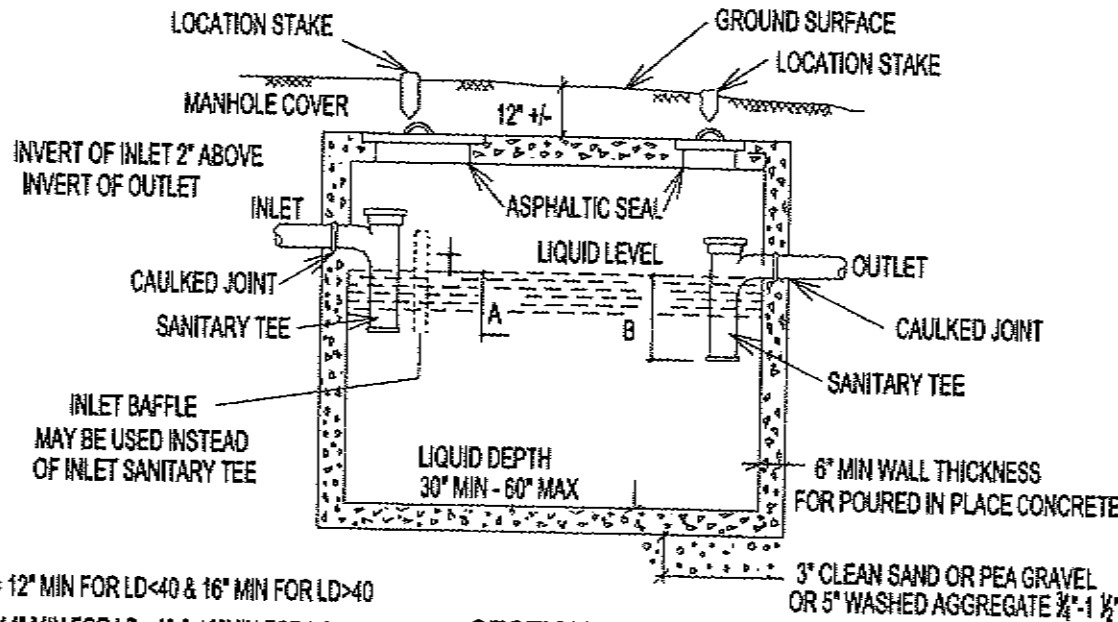
DEC 2021

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Sheet  
 1 OF 8

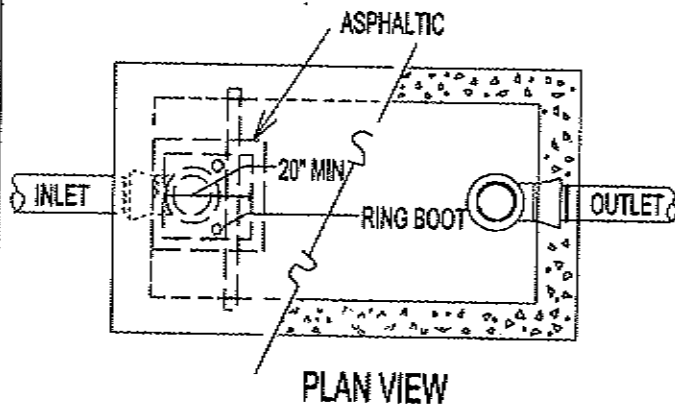
# SEPTIC TANK DETAILS

MINIMUM SEPTIC TANK SIZE - 1000 GALLONS  
MIN SEPTIC TANK SURFACE AREA - 27 SQ FT



A= 12" MIN FOR LD<40 & 16" MIN FOR LD>40  
B=14" MIN FOR LD <40 & 18" MIN FOR LD >40  
LD = LIQUID DEPTH

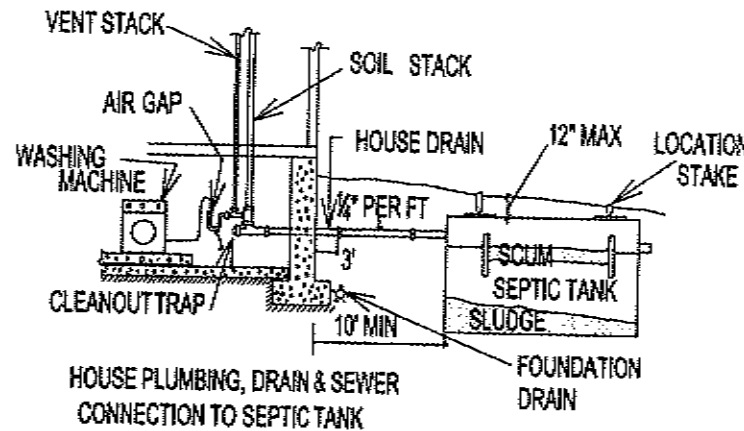
SECTION VIEW



PLAN VIEW

## NOTES

1. HOUSE SEWER TO BE LAID ON WELL COMPACTED EARTH
2. SEWER TO BE AT LEAST 4" DIA WITH WATERTIGHT JOINTS
3. BELL OF EACH PIPE SECTION SHOULD FACE UPSTREAM AND SPIGELS DOWNSTREAM



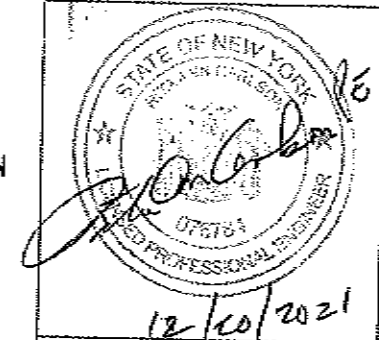
HOUSE SEWER DETAILS

WASTE WATER  
TREATMENT  
SYSTEM FOR  
FALVO  
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FALVO  
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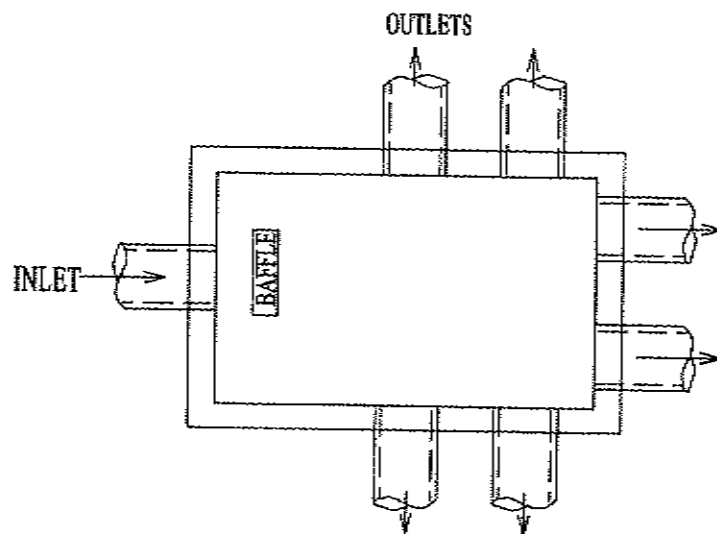


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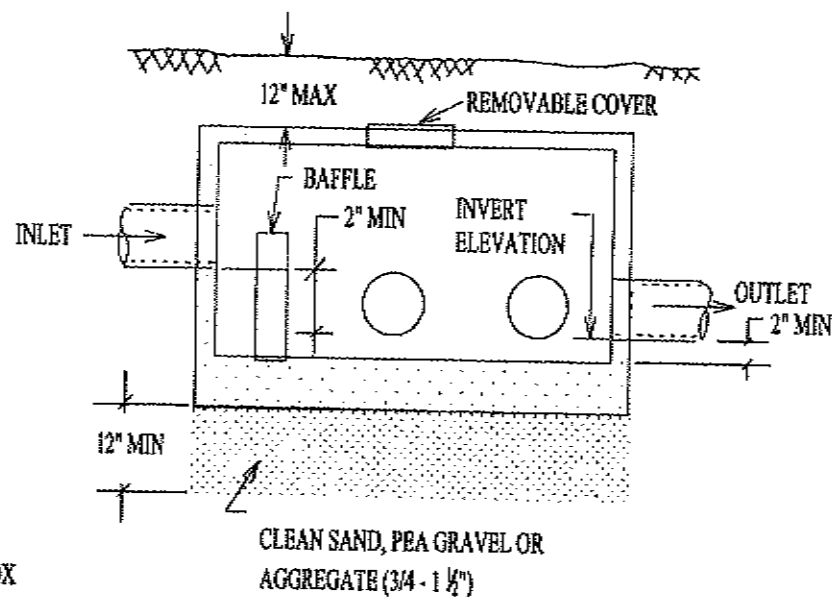
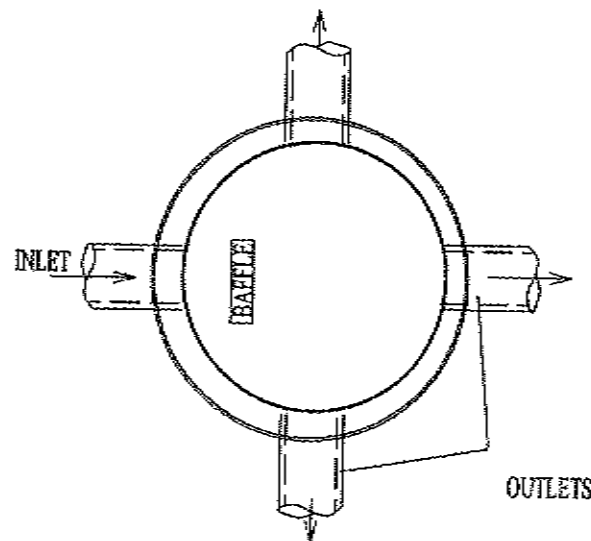
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PLAN VIEW



NOTES:

1. PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
2. INVERT ELEVATIONS OF ALL OUTLET PIPES MUST BE EQUAL. USE OF SPEED LEVELING DEVICES IS RECOMMENDED.
3. THE SLOPE OF OUTLET PIPES BETWEEN THE DISTRIBUTION BOX AND DISTRIBUTOR LATERALS SHOULD BE AT LEAST  $\frac{1}{2}$ " PER FOOT.
4. BAFFLE REQUIRED FOR SIPHON OR AUTOMATIC DOSING OR IF INLET PIPE SLOPE EXCEEDS  $\frac{1}{2}$ " PER FOOT.

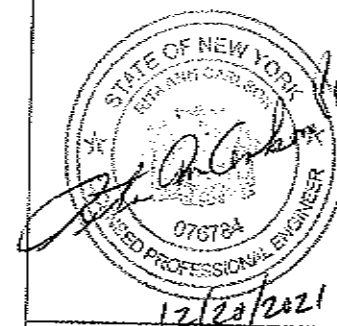
Distribution Box Details

WASTE WATER  
TREATMENT  
SYSTEM FOR  
FALVO  
PROPERTY

TOWN OF CAROGA

FALVO  
300 CO HIGHWAY 111  
CAROGA, NY

RITA CARLSON, PE  
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Details

DEC 2021

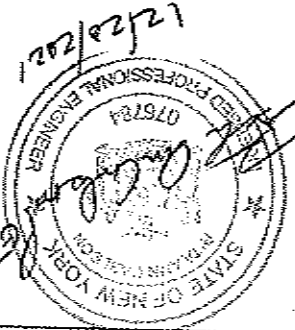
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WASTE WATER  
TREATMENT  
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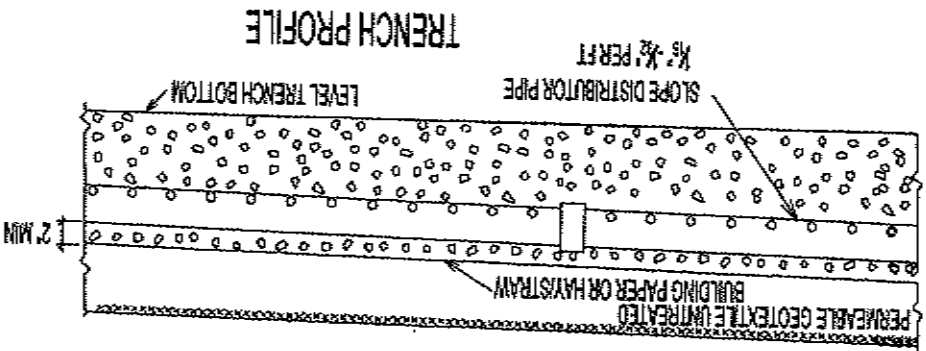
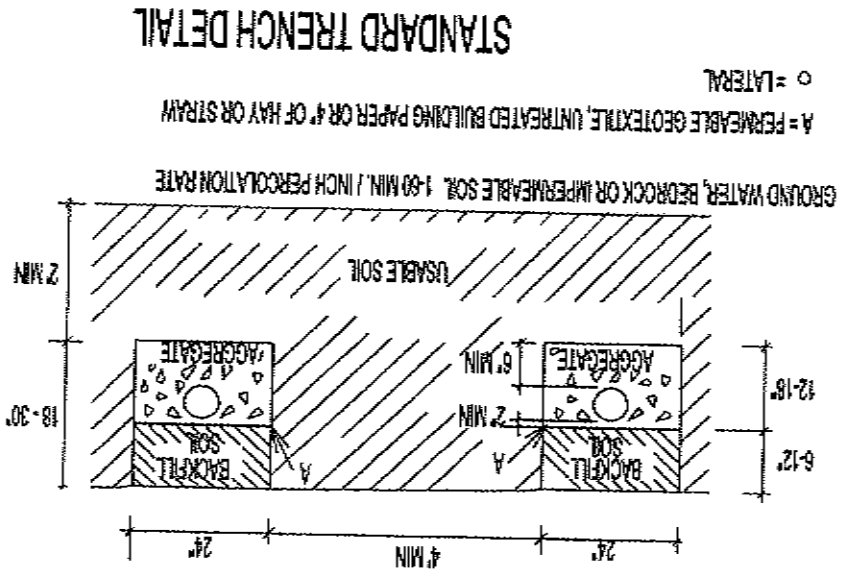


Details

DEC 2021

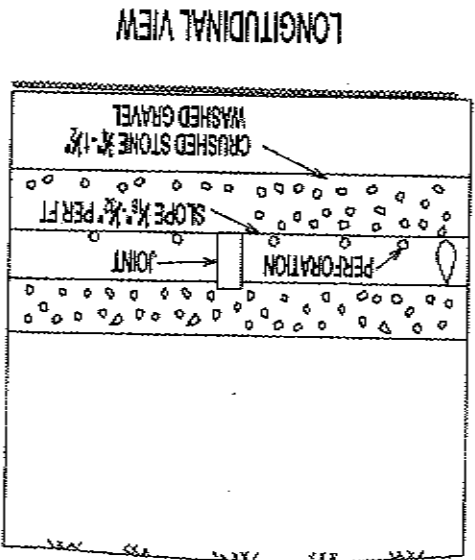
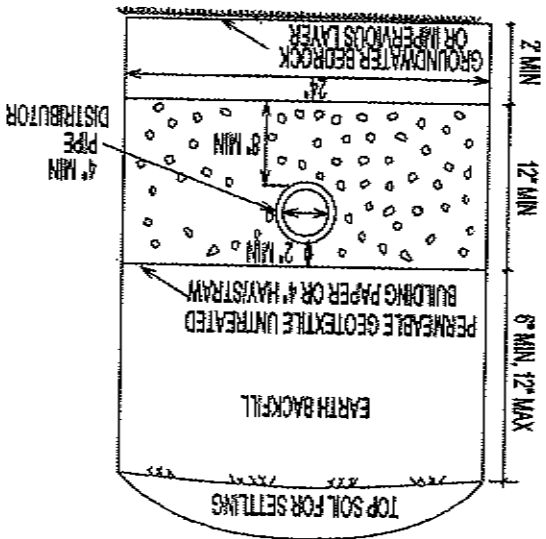
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## Absorption Trench Design

NOTE:  
DO NOT INSTALL TRENCHES IN WET SOIL  
INSTALL TRENCHES PARALLEL TO CONTOURS  
WHICH MEET ABOVE NOTED MINIMUM DEPTHS  
SPACING OF ABSORPTION TRENCHES & OC  
ENDS OF ALL DISTRIBUTOR PIPES MUST BE CAPPED  
RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL



Falvo

December 2021

**System Elements and Specifications for Standard Absorption Field System –  
3 bedroom**

It is violation of the New York State Education Law for any person, unless acting under the direction of a licensed professional engineer to alter these plans in any way. If alterations of these plans are required, the alterations shall be made in accordance with Article 145, Subsection 7209 of the New York State Education Law.

Construction and installation shall be in accordance with the rules, regulations, and standards of the New York State Department of Health as set forth in 10NYCRR Appendix 75-A.

Soil type – Naumburg loamy fine sand, 0 to 3 percent slopes

**Typical profile**

- 0 to 1 inches: highly decomposed plant material
- 1 to 16 inches: loamy fine sand
- 16 to 19 inches: sand
- 19 to 72 inches: stratified sand

**Properties and qualities**

- Slope: 0 to 3 percent
- Depth to restrictive feature: More than 80 inches
- Drainage class: Somewhat poorly drained
- Runoff class: Very high
- Depth to water table: About 10 to 18 inches (>52" at this site)



**1. 4" TIGHT JOINT PVC PIPE from BUILDING DRAIN to SEPTIC TANK**

- Tight joints rigid plastic pipe;  
SDR 35 PVC pipe or schedule 40 PVC pipe fully meeting ASTM standards
- Slope 1/4" per foot.
- Lay on well compacted earth.
- A cleanout with a properly fitting plug to be installed inside cellar wall.

**2. SEPTIC TANK – existing 1000 gallon to remain.**

- 1000-gallon capacity septic tank
- Minimum liquid surface is 27 square feet

**General Tank Specifications**

- One entry and inspection opening and one clean out opening (min)
- A minimum liquid depth of 30 inches. The maximum depth for determining the allowable design volume of a tank shall be 60 inches.
- Tanks must be watertight, constructed of durable material not subject to corrosion, decay, frost damage, or cracking. After installation, all septic tanks shall be able to support at least 300 pounds per square foot (psf).
- Tanks shall have inlet and outlet baffles, sanitary tees or other devices to

prevent the passage of floating solids and to minimize disturbance of settled sludge and floating scum by sewage entering and leaving the tank.

- The distance between the outlet baffle and the outlet shall not exceed six inches.
- Tanks in series should be connected by a single pipe with a minimum diameter of four inches.
- Install tanks and distribution box level on a bed of sand, gravel, or aggregate as shown in the details.
- Location stakes are to be placed above all buried access covers. Where access covers are more than 12" below final grade, provide extension collars over openings to bring cover within 12" of final grade.
- Baffle system must be precast into tank
- Tank shall be placed level on a minimum of 3" of clean sand or pea gravel or 5" of aggregate  $\frac{3}{4}$ " – 1  $\frac{1}{2}$ " in diameter
- Maintain a minimum separation of 10' from the house
- The tank shall have a minimum liquid depth of 30" and a maximum liquid depth of 60".
- There shall be a minimum drop in elevation of 2" between the inverts of the inlet and outlet pipes. The minimum distance between the inlet and outlet shall be 6'.
- There shall be a minimum of one-inch clearance between the underside of the roof of the tank and the top of all baffles and / or tees to permit venting of tank gases.
- The tank and manhole covers shall be within 12" of the final grade to permit inspection and maintenance. The tank shall have at least one manhole opening and one visual access openings above the inlet and outlet baffles. A manhole opening may replace a visual access opening.
- Special care must be taken in bedding the house sewer, septic tank, and the out-lines to prevent uneven settlement and possible cracking or rupture where the inlet and outlet lines connect to the septic tank.
- **A septic tank effluent filter is strongly recommended.**

#### Precast concrete tank

- Walls and floors shall be 3" thick if reinforced or 6" thick if not reinforced
- All concrete used shall have a minimum compressive strength of 2500 psi at 28 days, 3000 psi concrete is recommended.
- All joints shall be sealed such that the tank is watertight; joints below the liquid level must be tested for water-tightness prior to backfilling.
- The walls and floor of cast-in-place tanks shall be poured at the same time (monolithic pour).

### **3. 4" TIGHT JOINT PVC PIPE SEPTIC TANK/ DISTRIBUTION BOX/ DISTRIBUTION LINES**

- Slope 1/8" per foot (minimum)
- SDR 35 PVC pipe or schedule 40 PVC pipe fully meeting ASTM standards
- Bed on well compacted earth

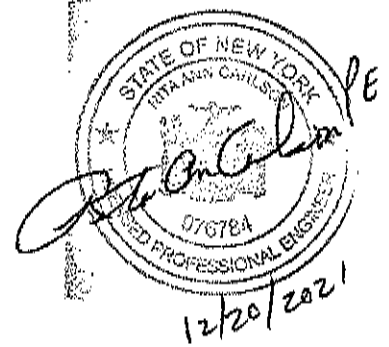
**4. DISTRIBUTION BOX**

Precast 8 outlet (min) distribution box  
Bed on 12" sand or pea gravel  
Invert elevations of all outlets must be equal  
Maximum 12" cover  
Seal all joints with pipes  
See distribution box detail

**5. ABSORPTION TRENCH / FIELD**

4" Distributor Lines  
4 - 50 foot lines at 6-foot on-center  
Perforated PVC pipe  
Slope pipe and bed bottom 1/32" per foot  
See standard trench detail  
Ends of lines to be plugged

- Maintain 20' minimum distance between the dwelling and the absorption area.
- A separation distance of 20' between drainage ditches and the absorption area is recommended.
- The maximum length of absorption lines used in conjunction with a gravity distribution shall be 60 feet.
- In gravity distribution systems, distributor pipes should be laid at a slope between 1/16" and 1/32" per foot. Grades shall be determined by an engineer's level, transit or carpenter's level.
- Aggregate used in the absorption fields shall be washed gravel or crushed stone 3/4"-1 1/2" in diameter. Larger diameter or finer substances are unacceptable.
- The preferred material for covering the aggregate is a permeable geotextile. Untreated building paper or a four-inch layer of hay / straw is also acceptable for covering the aggregate when permeable geotextiles are unavailable.
- The trench depth should be as shallow as possible, but not less than 18" or more than 30". The inverts of the distribution lines shall not be deeper than 24" below grade.
- Heavy equipment use in the designated absorption system area should be minimized to prevent soil permeability reduction due to compaction plus possible trench cave-in and distribution pipe misalignment and/or breakage.
- The earth backfill is to be mounded slightly above the original ground level (i.e. not compacted) to allow for settling. Following settlement, the entire area should be graded without the use of heavy equipment and seeded with grass. Heavy equipment shall not enter the absorption facility area or the proposed expansion area after the subsurface sewage treatment system has been constructed.



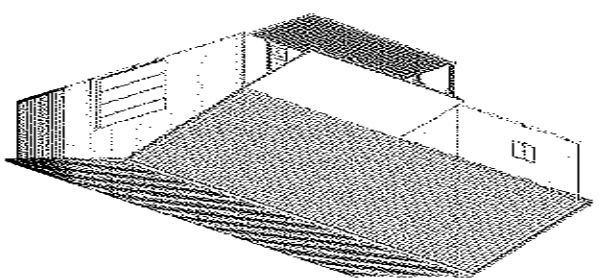
- One linear foot of properly sized gravel less absorption systems (i.e. Infiltrator Systems Inc. Equalizer 24/36) may be substituted for one linear foot of conventional (24" wide) aggregate filled absorption trench.
- Trenches are to be installed parallel to ground contours. Absorption lines need not be perfectly straight, but abrupt changes in direction must be avoided.
- Absorption laterals shall be 4" perforated SDR 35 PVC pipe or schedule 40 PVC pipe fully meeting ASTM standards for septic systems sloped 1/32" per foot minimum. All distribution pipes should have perforations of 1/4" minimum diameter. All laterals must be capped and of equal length. 45-degree bends or sweeps are recommended in all lines.

### **GENERAL NOTES**

- No part of the sewage disposal system may be located under driveways, access roads, nor any other areas receiving vehicular traffic.
- Maintain a 10' minimum horizontal separation between sewage lines, laterals, septic tank, and water lines.
- Maintain 100' minimum between the well and the wastewater treatment area.
- Maintain 10' minimum between the property lines and system element.
- Maintain 24" minimum between the bottom of the distribution system and groundwater or impervious layers.
- Locations of trenches, tanks, and other components are shown approximately on the site plan. Minor changes in location to avoid topographical or vegetative obstructions are acceptable provided the minimum separation distances and maximum covers are maintained.
- **Water Softener Discharges - Brine backwash waste from household water softening equipment should be discharged to a separate soil absorption facility such as a trench or shallow pit.** Separation distances required for conventional absorption facilities shall also be met for the backwash waste absorption facility.
- **Garbage grinders -** An additional 250 gallons of capacity and seven square feet of surface area is required when a garbage grinder can reasonably be expected at the time of construction or in the future. A gas deflection baffle or other acceptable outlet modification, and a dual compartment tank or two tanks in series must also be provided. **Garbage grinder is NOT be installed at this site.**
- **Roof, footing, garage, cellar and surface water drainage, water softener, water recharge and backwash wastes must be excluded from the system.**
- **Prior to any work, the contractor is responsible for verifying all measurements and/or elevations. Any discrepancy should be reported to the Engineer.**
- **Changes without the written permission of the design engineer will nullify the design.**

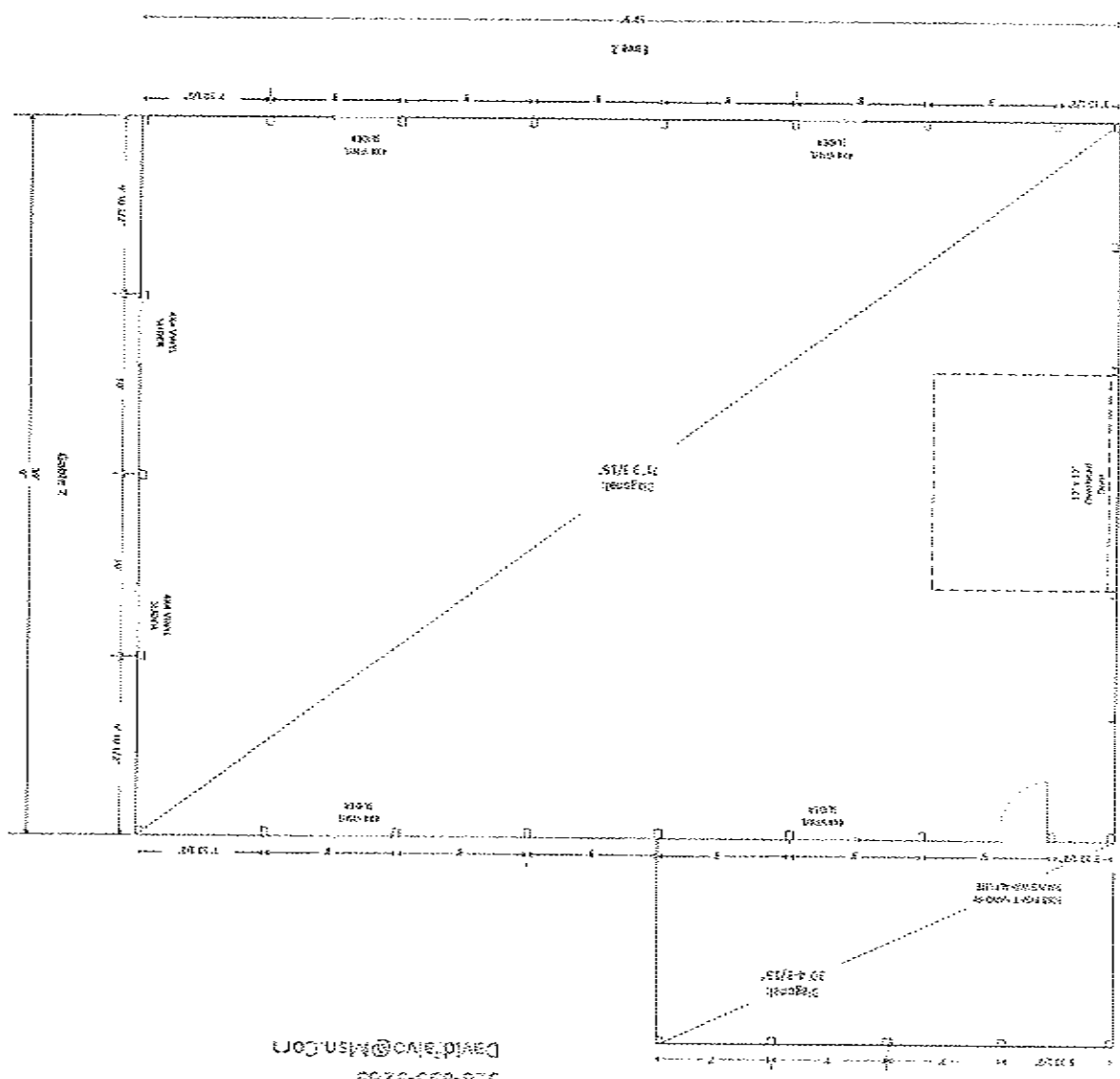






- One-Engineered Wood Trusses (5'12" Pitch, 4' O.C.)
- 4.5 x 6.25 Glulam 3 Ply Base Posts (8' O.C.)
- 4.5 x 6.25 Glulam 3 Ply Gable Posts (10' O.C.)
- 2 x 8 Trex® Slat Boards (1 Row)
- 2 x 4 Wall Girts (24' O.C.) and Roof Purlins (24' O.C.)
- 2 x 12 Double Top Girt Truss Carrier
- Lynn Everlast III Traditional Sheet Steel & Tyvek
- Lynn Everlast III Traditional Steel Roof
- One Corlate Post per Post Hole
- 37 x 69 x 60 Concrete Floor (ACCP) With Floor
- BRIGGS & WATSONS
- One 12 X 12 Overhang Ins.
- One 3 Half Circle Entry Door
- SX V444 4 x 4 Sliding Windows
- 12' OVERHANG ON ALL SIDES WITH VENTED ALUM. SOFFIT
- 12 X 20 X 10 OPEN PORCH, BASE (ONE POST), TRUSSES 4/12 PITCH
- (K&L ROOFING AND DRAINAGE)

**SECRETION OF PULMONARY SURFACTANT**



David Feld  
300 London Bridge Rd.  
Caroga Lake, NY 12032  
518-835-1283  
David.feld@nasa.gov

David'svo@msn.com

0000-0000-0000

Caroba Lake, NY 12032

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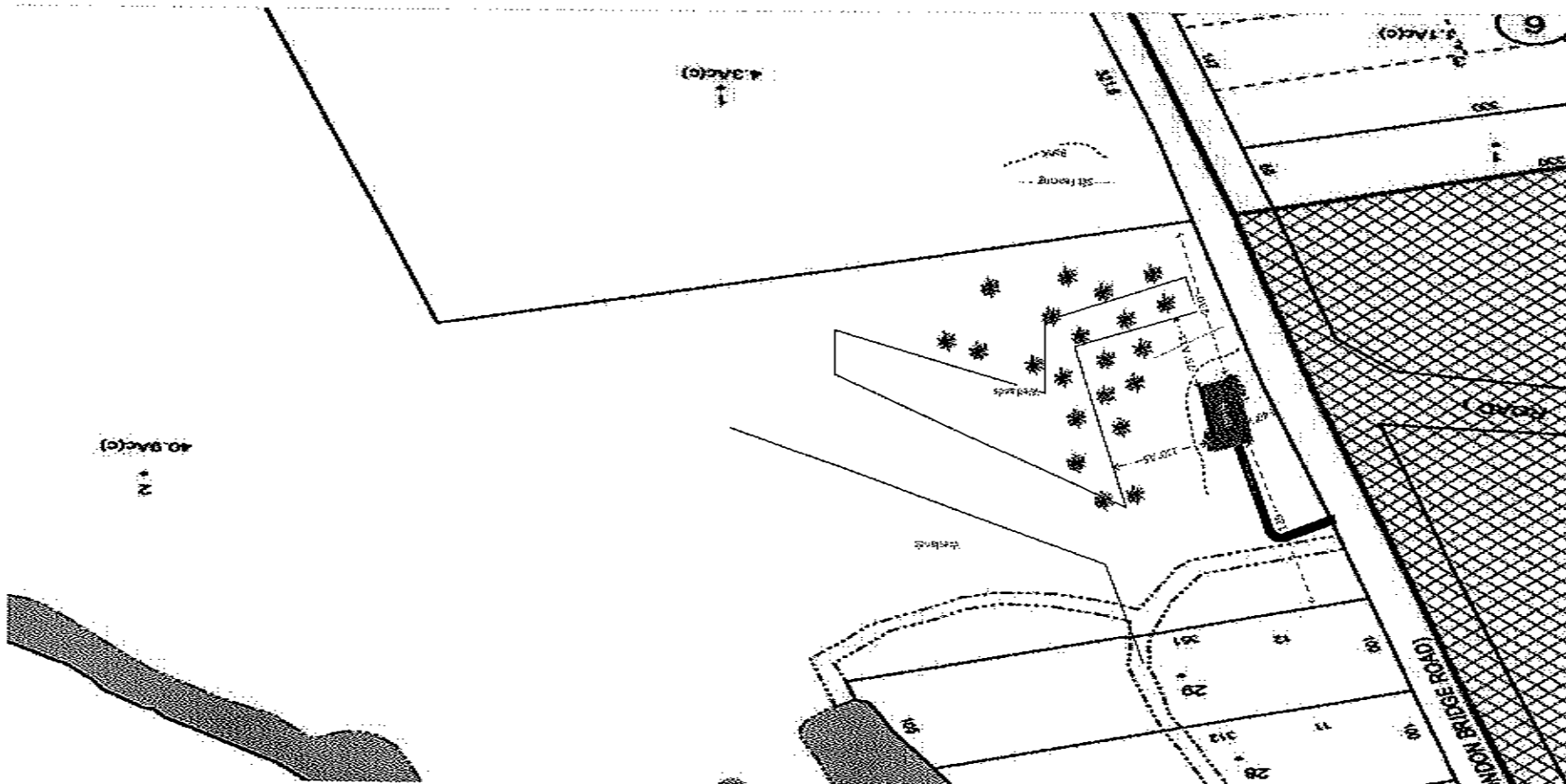
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## INSPECTIONS REPORT

**This Inspection list is for your reference only. As it is the responsibility of both the property owner and the contractor to schedule the required inspections.**

Caroga Code Enforcement: 518-835-4211 ext. 102

Permit Date: 11/05/2021

Owner: Northern Pine Cove, LLC

Permit Number: 2021276

SBL: 68.5-2-2

Permit Type: Garage

Property Location: 300 County Hwy 111

### TYPE OF INSPECTIONS:

This list applies to 'most' Permits of this Type. Your project may require additional inspections.

Inspection type	Date	Result	Notes
Site Inspection	6/16/22		poles with pre cast footings
Footings- Pre-pour			poles set
MSG/Slab/Floor	7/1/22	passed	6" ber mat in concrete
Rough Framing	6/22/22	passed	
Roof - deck			
Ice and Water			
Insulation			
Third Party Electrical			
Final Before CO			
Certificate of Occupancy			

Inspectors Comments:

- ( ) Approved
- ( ) Conditionally Approved
- ( ) Not Approved

Inspector's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Be advised that failure to comply with scheduled inspections will necessitate withholding Certificates of Occupancy and/or Compliance.  
Be further advised that it is easier and less costly to do inspections when in a rough state then finished.  
As per: Title 19 NYCRR; Part 444.3 (c) & (d).

Contractor/Owner initials

Date

Town of Caroga  
Fulton County, New York  
**Garage Permit**

Date: 11/05/2021

SBL # 68.5-2-2

Permit # 2021276

APPLICATION IS HEREBY MADE to the TOWN OF CAROGA Building Department for the issuance of a permit pursuant to the New York State Uniform Fire Prevention and Building Code, for the construction of buildings, additions or alterations, repairs, or for the removal or demolition, as herein described. The Contractor agrees to comply with all applicable laws, ordinances, or regulations governing building activities in the TOWN OF CAROGA and will also allow all inspectors to enter the premises for inspections. The Contractor also understands that under no circumstances shall personal belongings or furnishings be brought into any new house or addition, without first obtaining a Certificate of Occupancy from the Building Department.

Contractor Information

Name: Double O Builders

Address: 1130 Clinton Road

Fort Plain, NY 13339

Phone: 518-673-1073

Address of Construction: 300 County Hwy 111

POLE LAYOUT IS ATTACHED.

SPECIFICATIONS FOR 40 X 60 X 14 POST FRAME PACKAGE.

Project Description: MATERIAL PACKAGE LIST ATTACHED.

Owner Information

Name: Northern Pine Cove, LLC

Address: 300 County Hwy 111

Caroga Lake, NY 12032

Phone:

I am also aware that inspections are required, that they must be performed by this Code Enforcement Office, and that I must give 48 hrs/ notice prior to the inspection date.

This building permit shall become void (12) months from the date of issuance.

\_\_\_\_\_  
Signature

Fee type	Amount
Garages	250.00

Payment Type	Check #	Payment amount	Payment date
Check	2047	250.00	11/05/2021

Valuation: \$50,000.00

Initials: \_\_\_\_\_

The application of Northern Pine Cove, LLC Dated 11/05/2021 is hereby APPROVED and permission GRANTED for the construction, reconstruction or alteration of a building and/or accessory structure as set forth above and on the plans approved and by Building Department.

Comments

\_\_\_\_\_  
Authorized Signature

# Town of Caroga Building Permit Application

## Owner Information:

Name:

David Fyler, Northern Avenue, LLC

Mailing Address:

P.O. Box 310

City, State, Zip Code:

Caroga Lake NY 12632

Telephone:

518 435 3253

## Contractor Information:

Name:

Double-O Builders

Address:

1130 Clinton Rd

City, State, Zip Code:

Ferry Plain NY 13339

Telephone:

518 673-1077

Insurance Information:

## Location of Property:

Address (911#):

300 County Highway 111

SBL #:

68.5-2-2

Are there any right of ways associated with this property? Yes or ☒ No

Are there any wetlands on this property? ☒ Yes or No

## Description of Project:

Garage & House. Plans to camp for the house

Garage 40x60

\*\* Most Projects require measurements from property lines.

( ) Drawings Attached

Estimated Value of Project:

50,000

Garage

Code Enforcement Office will fill in information below.

Permit Type

~~Single~~ Single family house  
of separate  
lot

Denied/Approved

AP

Date of Approval

11/5/21

Permit Fee

657.50

Paid by Cash or Check #

2047

asked how to apply  
money.  
250. Garage  
407.50 SFD

# Town of Caroga

## Building Permit Application

### Instructions/Signature

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#### Application for Building Permit and Certificate of Occupancy/Compliance Within the Town of Caroga.

Application is hereby made to the Code Enforcement Officer for a Building Permit pursuant to the New York State Uniform Fire Prevention and Building Code for the construction of buildings, additions, alterations, removal or demolition as herein described. The applicant agrees to comply with all applicable laws, ordinances, and regulations, etc. as follows:

- A. The applicant shall notify the Code Enforcement Office of any changes in the information contained in the application during the period for which the permit is in effect. A permit will be issued when the application has been determined to be complete and when the proposed work is determined to conform to the requirements of the Uniform Code. The authority conferred by such a permit may be limited by conditions.
- B. A building permit may be suspended or revoked if it is determined that the work for which it pertains is not proceeding in conformance with the Uniform Code or with any condition attached to such a permit, or if there has been a misrepresentation or falsification of a material fact in connection with the application for the permit.
- C. A building permit shall expire one (1) year from the date of issuance or upon the issuance of a Certificate of Occupancy (other than a temporary certificate of occupancy), whichever comes first. The permit may, upon written request, be renewed for successive one-year periods that (1) the permit has not been revoked or suspended at the time the application for renewal is made; (2) the relevant information in the application is up to date; and, (3) the renewal fee is paid.

#### CERTIFICATION:

I hereby certify that I have read the instructions and examined this application and know the same to be true and correct. All provisions of Laws and Ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other State or Local Law regulating construction or the performance of construction.

Owner/Authorized Agent:

*Devin Feltz member*  
*Northern Pine Cove, LLC*

Date:

*11-5-2021*

**\*\*\* Attach Plat; A Plan, map, or chart of piece of land with actual and/or proposed features.**

## INSPECTIONS REPORT

**This Inspection list is for your reference only. As it is the responsibility of both the property owner and the contractor to schedule the required inspections.**

Caroga Code Enforcement: 518-835-4211 ext. 102

Permit Date: 11/05/2021

Owner: Northern Pine Cove, LLC

Permit Number: 2021277

SBL: 68.5-2-2

Permit Type: Single Family Dwelling

Property Location: 300 County Hwy 111

### TYPE OF INSPECTIONS:

This list applies to 'most' Permits of this Type. Your project may require additional inspections.

Inspection type	Date	Result	Notes
Site Inspection			
Engineered Blue Prints			
Footings- Pre-pour			
Foundation Wall- Pre-pour			
MSG/Slab/Floor			
Backfill			
Rough Framing			
Rough Plumbing			
Rough Electrical			
Rough Mechanical			
Smoke Detector (Hard Wired)			
Insulation			
Heating Device			
Chimney And Flue			
Ice and Water			
Roof - deck			
Sanitation Inspection			
Third Party Electrical			
Final Before CO			
Certificate of Occupancy			

Inspectors Comments:

- ☐ Approved
- ☐ Conditionally Approved
- ☐ Not Approved

Inspector's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Be advised that failure to comply with scheduled inspections will necessitate withholding Certificates of Occupancy and/or Compliance.  
Be further advised that it is easier and less costly to do inspections when in a rough state then finished.  
As per: Title 19 NYCRR; Part 444.3 (c) & (d).

Contractor/Owner initials

Date



# Town of Caroga Building Permit Application

## Owner Information:

Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City, State, Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

## Contractor Information:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State, Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Insurance Information: \_\_\_\_\_

## Location of Property:

Address (911#): \_\_\_\_\_  
SBL #: \_\_\_\_\_

Are there any right of ways associated with this property? Yes or No  
Are there any wetlands on this property? Yes or No

Description of Project: 30' x 50' SFD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**\*\* Most Projects require measurements from property lines.**

( ) Drawings Attached

Estimated Value of Project: \$ \_\_\_\_\_

Code Enforcement Office will fill in information below.

Permit Type SFD

Denied/Approved \_\_\_\_\_

Date of Approval \_\_\_\_\_

Permit Fee 407.50

Paid by Cash or Check #

2047

pd by  
D. Falvo

# Town of Caroga Building Permit Application

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## Application for Building Permit and Certificate of Occupancy/Compliance Within the Town of Caroga.

Application is hereby made to the Code Enforcement Officer for a Building Permit pursuant to the New York State Uniform Fire Prevention and Building Code for the construction of buildings, additions, alterations, removal or demolition as herein described. The applicant agrees to comply with all applicable laws, ordinances, and regulations, etc. as follows:

- A. The applicant shall notify the Code Enforcement Office of any changes in the information contained in the application during the period for which the permit is in effect. A permit will be issued when the application has been determined to be complete and when the proposed work is determined to conform to the requirements of the Uniform Code. The authority conferred by such a permit may be limited by conditions.
- B. A building permit may be suspended or revoked if it is determined that the work for which it pertains is not proceeding in conformance with the Uniform Code or with any condition attached to such a permit, or if there has been a misrepresentation or falsification of a material fact in connection with the application for the permit.
- C. A building permit shall expire one (1) year from the date of issuance or upon the issuance of a Certificate of Occupancy (other than a temporary certificate of occupancy), whichever comes first. The permit may, upon written request, be renewed for three successive one-year periods that (1) the permit has not been revoked or suspended at the time the application for renewal is made; (2) the relevant information in the application is up to date; and, (3) the renewal fee is paid.

### CERTIFICATION:

I hereby certify that I have read the instructions and examined this application and know the same to be true and correct. All provisions of Laws and Ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other State or Local Law regulating construction or the performance of construction.

**Owner/Authorized Agent:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**\*Attach Plat; A plan, map, or chart of a piece of land with actual and/or proposed features.**

Town of Caroga  
Fulton County, New York  
**Single Family Dwelling Permit**

Date: 11/05/2021

SBL # 68.5-2-2

Permit # 2021277

APPLICATION IS HEREBY MADE to the TOWN OF CAROGA Building Department for the issuance of a permit pursuant to the New York State Uniform Fire Uniform Fire Prevention and Building Code, for the construction of buildings, additions or alterations, repairs, or for the removal or demolition, as herein described. The Contractor agrees to comply with all applicable laws, ordinances, or regulations governing building activities in the TOWN OF CAROGA and will also allow all inspectors to enter the premises for inspections. The Contractor also understands that under no circumstances shall personal belongings or furnishings be brought into any new house or addition, without first obtaining a Certificate of Occupancy from the Building Department.

Contractor Information

Name: Double O Builders

Address: 1130 Clinton Road

Fort Plain, NY 13339

Phone: 518-673-1073

Owner Information

Name: Northern Pine Cove, LLC

Address: 300 County Hwy 111

Caroga Lake, NY 12032

Phone:

Address of Construction: 300 County Hwy 111

Project Description: PLANS TO COME FOR THE HOUSE.

I am also aware that inspections are required, that they must be performed by this Code Enforcement Office, and that I must give 48 hrs/ notice prior to the inspection date.

This building permit shall become void (12) months from the date of issuance.

\_\_\_\_\_  
Signature

Fee type	Amount
Single Family Dwelling	407.50

Payment Type	Check #	Payment amount	Payment date
Check	2047	407.50	11/05/2021

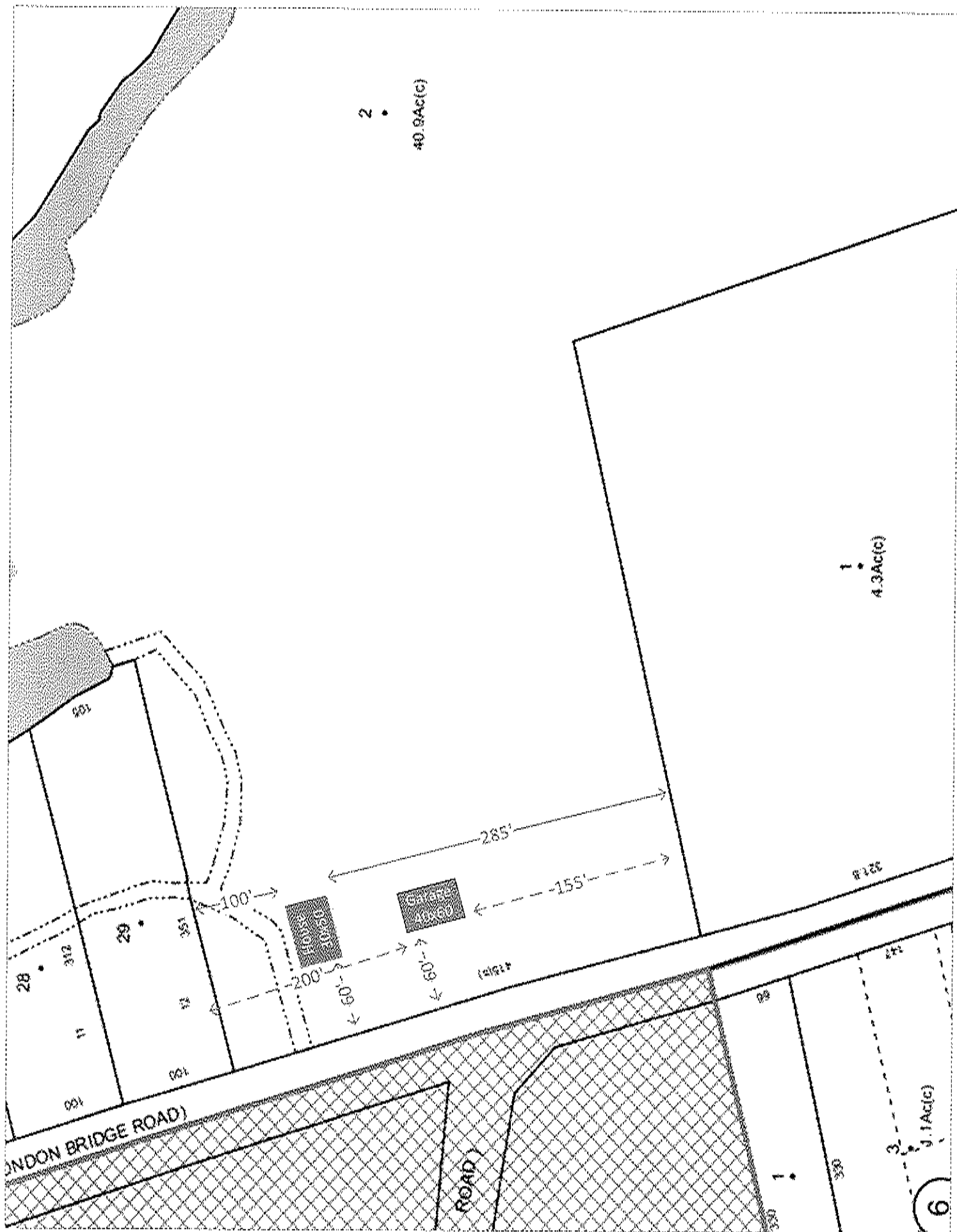
**Valuation: \$50,000.00**

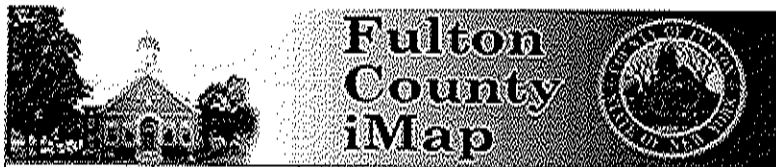
Initials: \_\_\_\_\_

The application of Northern Pine Cove, LLC Dated 11/05/2021 is hereby APPROVED and permission GRANTED for the construction, reconstruction or alteration of a building and/or accessory structure as set forth above and on the plans approved and by Building Department.

Comments

\_\_\_\_\_  
Authorized Signature





Parcel Search Buffer Parcels Clear Full View Print

[Home](#) [Metadata](#) [Help](#)



[View Layers](#)

[View Legend](#)

[Update Map](#)

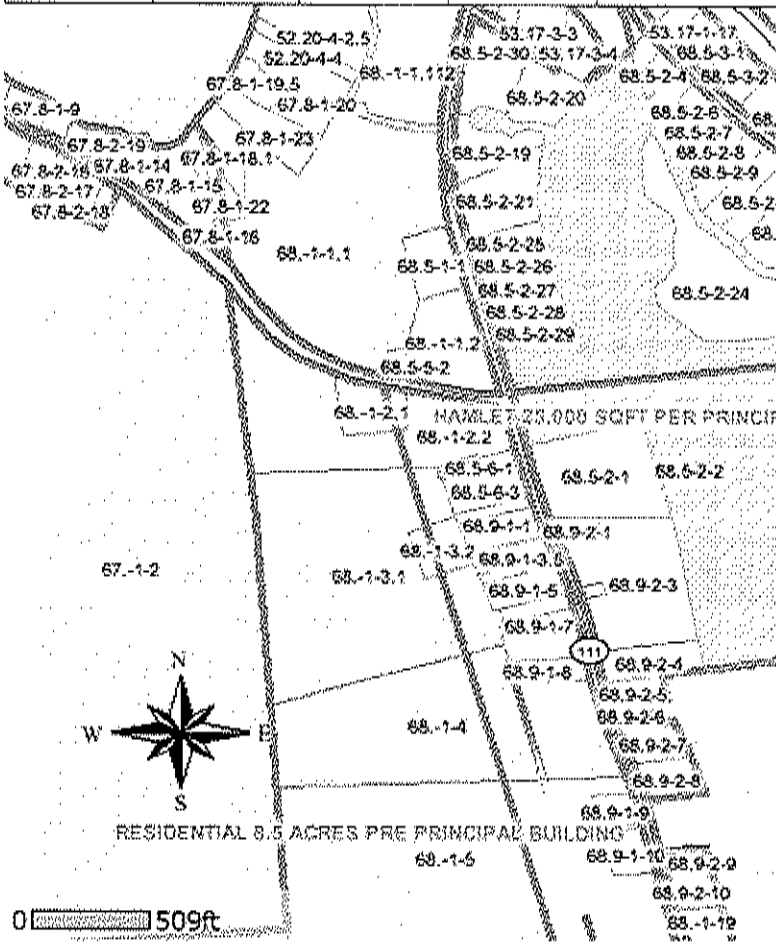
☒ **Base Map**

☒ **Districts**

Label Visibility Layer

- ☐ APA Land Class
- ☐ APA Blue Line
- ☐ Election Districts
- ☐ School Districts
- ☐ Agricultural Districts
- ☐ Economic Development Zones
- ☒ Municipal Zoning Districts

☒ **Natural Resources / Recreation**



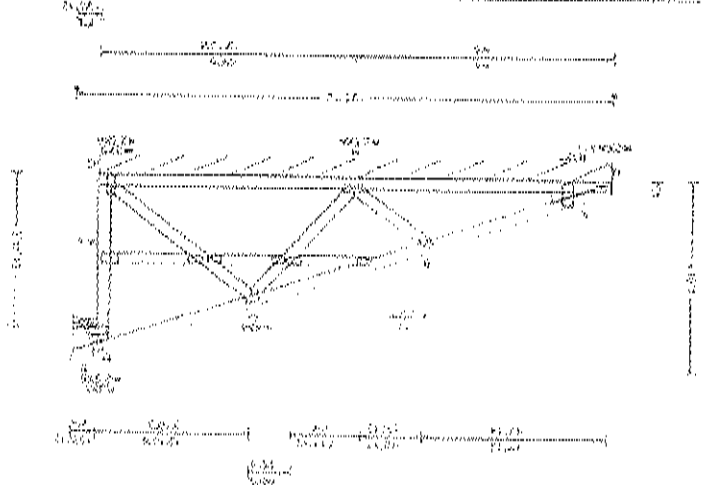
Zoom to Muni:

Select a municipality...

Go



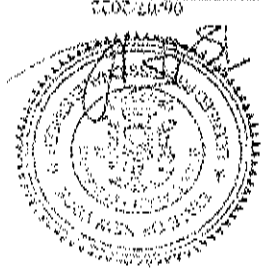
SECTION 054404	Truss	Truss Label: Truss 1
DATE: 08/24/2022	Drawn By: J. Smith	Checked By: J. Smith
DATE: 08/24/2022	Drawn By: J. Smith	Checked By: J. Smith



Truss Label	Truss Type	Truss Size	Truss Weight	Truss Length	Truss Height	Truss Area	Truss Volume
Truss 1	Truss 1	Truss 1	Truss 1	Truss 1	Truss 1	Truss 1	Truss 1
Truss 2	Truss 2	Truss 2	Truss 2	Truss 2	Truss 2	Truss 2	Truss 2
Truss 3	Truss 3	Truss 3	Truss 3	Truss 3	Truss 3	Truss 3	Truss 3
Truss 4	Truss 4	Truss 4	Truss 4	Truss 4	Truss 4	Truss 4	Truss 4
Truss 5	Truss 5	Truss 5	Truss 5	Truss 5	Truss 5	Truss 5	Truss 5
Truss 6	Truss 6	Truss 6	Truss 6	Truss 6	Truss 6	Truss 6	Truss 6
Truss 7	Truss 7	Truss 7	Truss 7	Truss 7	Truss 7	Truss 7	Truss 7
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Truss 9	Truss 9	Truss 9	Truss 9	Truss 9	Truss 9	Truss 9	Truss 9
Truss 10	Truss 10	Truss 10	Truss 10	Truss 10	Truss 10	Truss 10	Truss 10

Truss Label	Truss Type	Truss Size	Truss Weight	Truss Length	Truss Height	Truss Area	Truss Volume
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Truss 2	Truss 2	Truss 2	Truss 2	Truss 2	Truss 2	Truss 2	Truss 2
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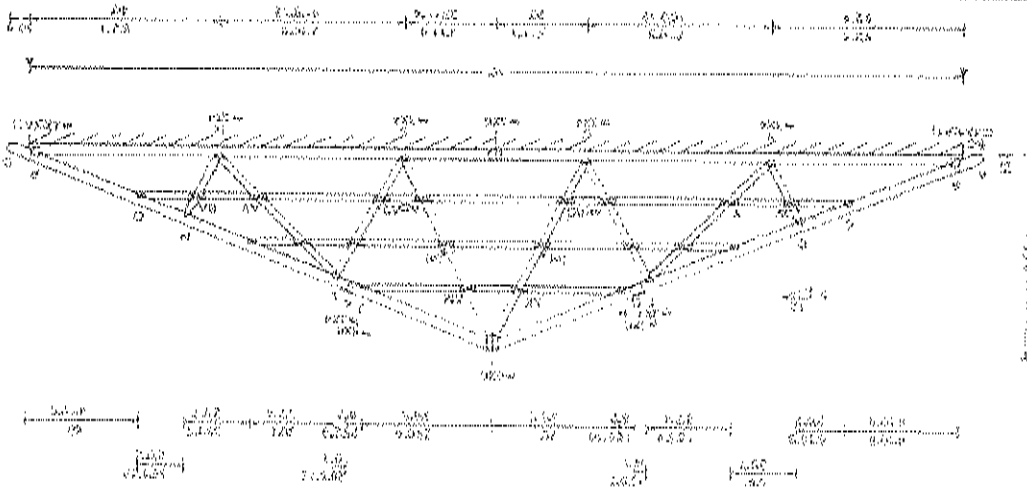
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Truss 10	Truss 10	Truss 10	Truss 10	Truss 10	Truss 10	Truss 10	Truss 10



**WARNING:** READ AND FOLLOW ALL NOTES ON THIS DRAWING. PLUMBING THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.

ALPINE BUILDING GROUP INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVELOPMENT FROM THIS DRAWING. ANY FAILURE TO BUILD THE DRAWING AS SHOWN OR ANY OTHER DEVELOPMENT IS THE RESPONSIBILITY OF THE CLIENT. ALPINE BUILDING GROUP INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVELOPMENT FROM THIS DRAWING. ANY FAILURE TO BUILD THE DRAWING AS SHOWN OR ANY OTHER DEVELOPMENT IS THE RESPONSIBILITY OF THE CLIENT.

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[illegible][illegible]

1. The first step is to identify the problem. This involves understanding the current situation and the goals that need to be achieved.

Maximum Bot Chord Forecan Per Fly (lbs)		Chord Tens. Comp.	
B-V	540 - 214	1-S	1030
V-U	1045 - 200	5-R	1045
U-Y	1050 - 236	4-P	940
Maximum Web Forecan Per Fly (lbs)		Web Tens. Comp.	
D-V	423 - 1153	1-S	390
V-F	272 - 1501	5-L	280
F-U	260 - 1562	1-R	272
U-I	389 - 1144	9-N	422
Maximum Gable Forecan Per Fly (lbs)		Gables Tens. Comp.	
C-W	314 - 502	4K-A4	500
W-Y	264 - 417	A4-J	570
Y-V	264 - 417	A4-A	570
V-AE	670 - 1091	AS-A7	755
H-AK	670 - 1091	AS-A7	755
AE-AO	254 - 410	AY-A4	254
AO-AO	205 - 358	BA-O	340



member.

Planting Method

All plants are ZX1 except as noted.

Pruning

In lieu of structural pruning we clip using hand pruners to remove excess growth as follows:

Chard (Spring) 20.00  
Chard (Fall) 20.00  
TC 24  
BC 120  
At 24" or less above or below 18" or 24" unless otherwise above.

Landscaping

Bedding areas checked for 10.00 per 100 sq. ft. section  
Bedding chard five head applied per 10.00 sq. ft. section  
Fertilizer designed for unbalanced snow loads.

Wind


Wind loads based on NWS data with additional 25% member margin.

2202:4390

\*\*\*\*\*  
 \*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING  
 \*\*\*IMPORTANT\*\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS  
 \*\*\*\*\*

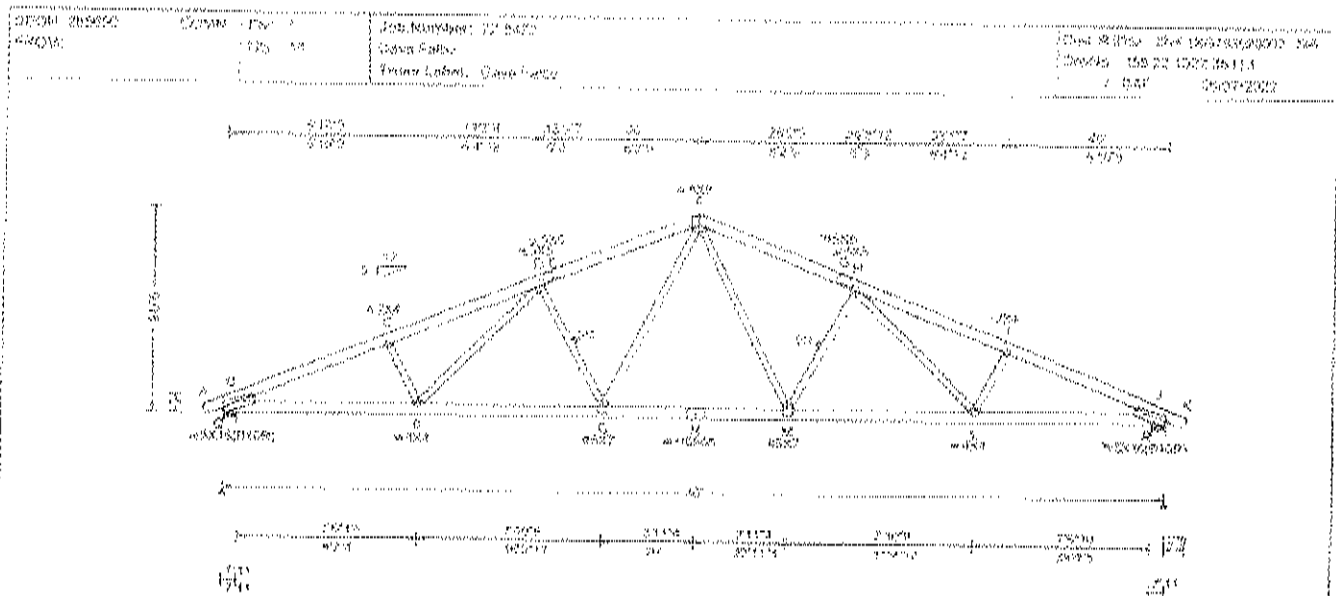
THE UNITED STATES OF AMERICA  
DO hereby certify that the following is a true and correct copy of the original as the same appears in the records of the Department of State:  
IN WITNESS WHEREOF, I have hereunto set my hand and the seal of said Department at Washington, D.C., this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 19\_\_\_\_.

\_\_\_\_\_  
Secretary of State



ALPINE





Loading Criteria (psf)	Wind Criteria	Snow Criteria (psf)	Deflection Criteria	Maximum Reactions (lbs)
TCCL: 44.00	Wind Std. ASCE 7-10	PSI 15.0 CE 1.1 CA 1.1	VR Deflection in 1000 lbs	Gravity Non-Gravity
TCCL: 5.00	Speed: 115 mph	PSI 18.2 CE 1.0 CA 1.0	VERTICAL: 0.489 O 573 240	Log R: 1R: 15h
OCCL: 0.00	Enclosure: Closed	LR: 1.0 CE 1.00	VERTICAL: 0.557 O 297 180	O 4747 L 4 1056 1631 751
OCCL: 5.00	Risk Category: I	Snow Duration: 1.15	HORIZONTAL: 0.179 J	B 4747 L 4 1056 1631 751
Gas Let: 34.00	EXP: C K: NA	Building Code: IRC 2015	HORIZONTAL: 0.298 J	Wind reactions based on MWFRS
NCCL: 10.00	Roof Height: 15.00 R	TPI Std: 2014	Creep Factor: 2.0	O Brg Wid = 7.0 Min Rod = 3.0 (Truss)
Roof: 0.00	TCCL: 3.0 psf	Rep Fac: No	Max TC CS: 0.945	R Brg Wid = 7.0 Min Rod = 3.0 (Truss)
Load Duration: 1.15	OCCL: 3.0 psf	FTFT: 2R(3)X(3)	Max BC CS: 0.971	Bearings O & R are a rigid surface.
Spacing: 18.0"	MWFRS Placed On: 0 to 102	Plate Type(s):	Max Web CS: 0.932	Members not listed have forces less than 375#
	C&C Dist: 4.15 ft	MWFRS: PS		Maximum Top Chord Forces Per Ply (lbs)
	Loc. from eave: Any			Chords Tens. Comp. Chords Tens. Comp.
	Wind Duration: 1.60			

**Lumber**  
 Top chord: 2x6 SP 2400-2 0L  
 Bot chord: 2x6 SP 2400-2 0E  
 Webs: 2x4 SP #1  
 L Wedge: 2x4 SP #1.1R Wedge: 2x4 SP #1

**Bracing**  
 (a) Continuous lateral restraint, equally spaced on member.

**Purlins**  
 In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

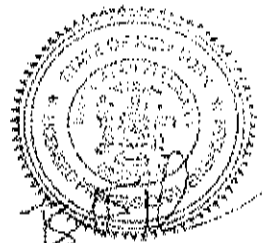
Chord	Spacing (in)	Start (ft)	End (ft)
TC	24	-0.68	20.00
TC	24	20.00	40.88
OC	110	0.15	39.85

Apply purlins to any chords above or below others at 24" OC unless shown otherwise above.

**Loading**  
 Bottom chord checked for 0.00 psf non-concurrent bottom chord live load applied per IRC-15 section 1607.

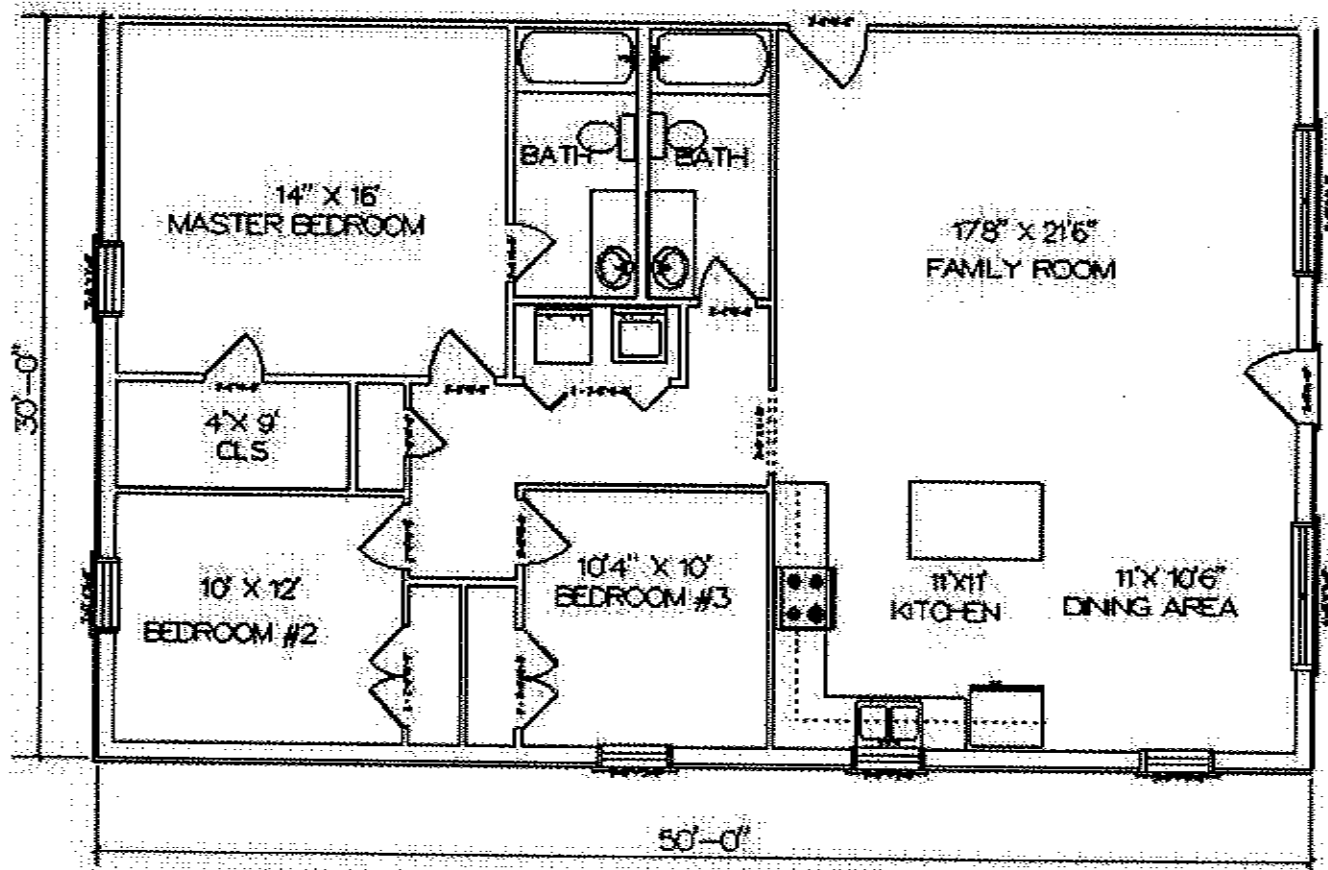
Truss designed for unbalanced snow loads.

**Wind**  
 Wind loads based on MWFRS with additional C&C member design.

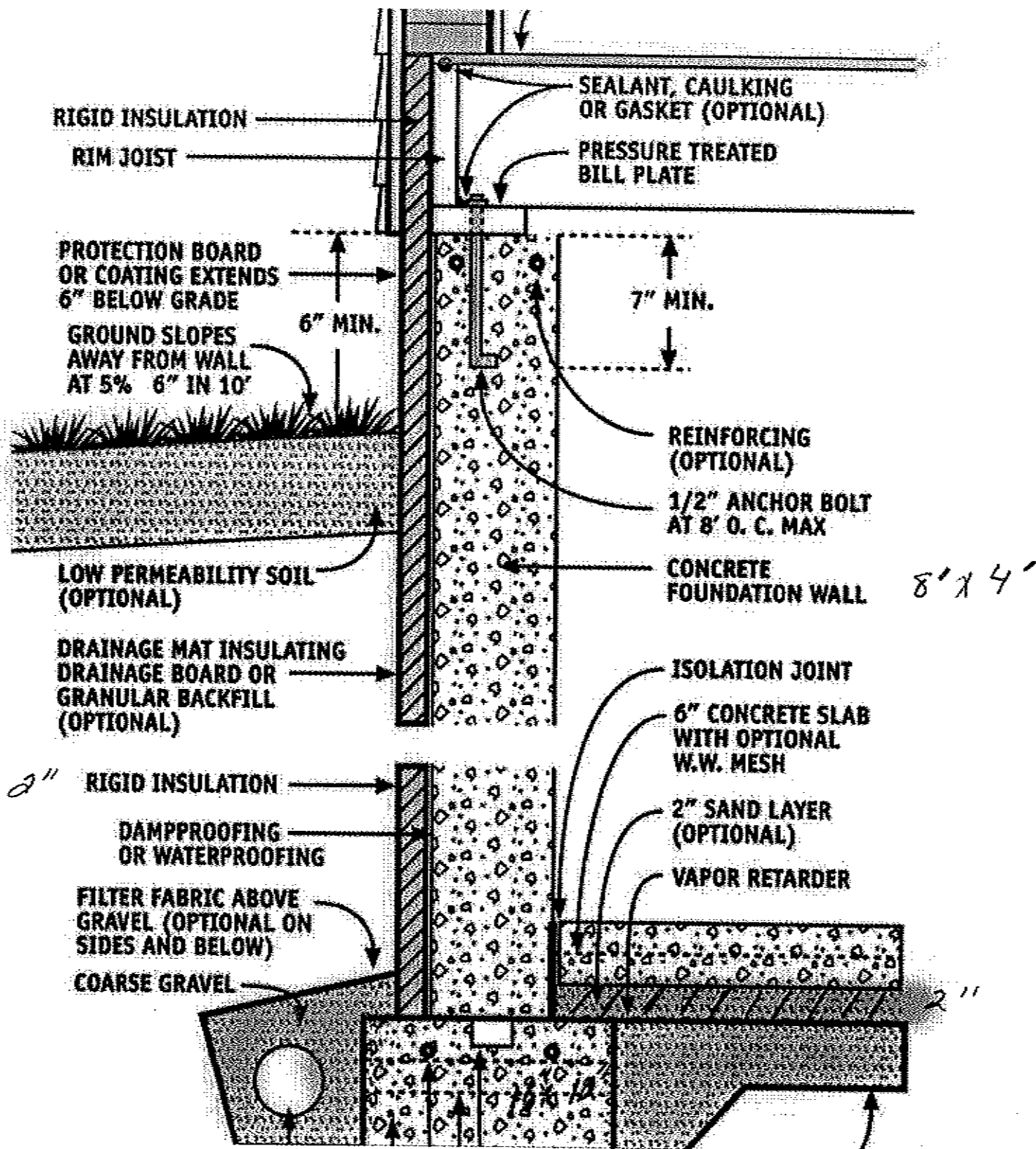


**WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING.  
**IMPORTANT** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.  
 These require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety) Information by T&I and S&C/A for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent bracing shall be as shown above and on the joint details, unless noted otherwise. Refer to drawings 180A-2 for standard plate patterns. Refer to job's General Notes page for additional information.  
 Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in accordance with ANSI 101-1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility being for the design shown. The authority and title of the drawing for any alteration in the responsibility of the Building Designer per ANSI 101-1.3.4.2.  
 For more information see Alpine web site: Alpine.com; TPI: tpiusa.org; S&C/A: sbcsa.com; BCSI: bcsa.com; ICC: iccsafe.org; AISC: aisc.org

**ALPINE**  
 185 Western Ave  
 North Building 8th Floor  
 Glenview, IL 60025



5030



**Roof:**

- 30 year architectural shingles
- 15# felt paper with 24 inch ice and water flashing at eave
- 1/2 inch APA rated sheathing
- Air baffles

**Eaves:**

- Aluminum fascia
- 2 x 6 sub-fascia
- Vented vinyl soffit

**Walls:**

- double 2 x 6 top plate
- header design varies with type and size of window
- dual glazed vinyl frame, low-E argon filled windows
- 2 x 6 sill plate for windows
- primed fiber cement siding
- 7/16 inch APA rated sheathing
- 2 x 6 studs, 16 inch on center
- R-21 fiberglass batt insulation
- 4-mil poly vapor barrier
- 1/2 inch gypsum board
- 2 x 6 bottom plate

**Trusses / Ceiling:**

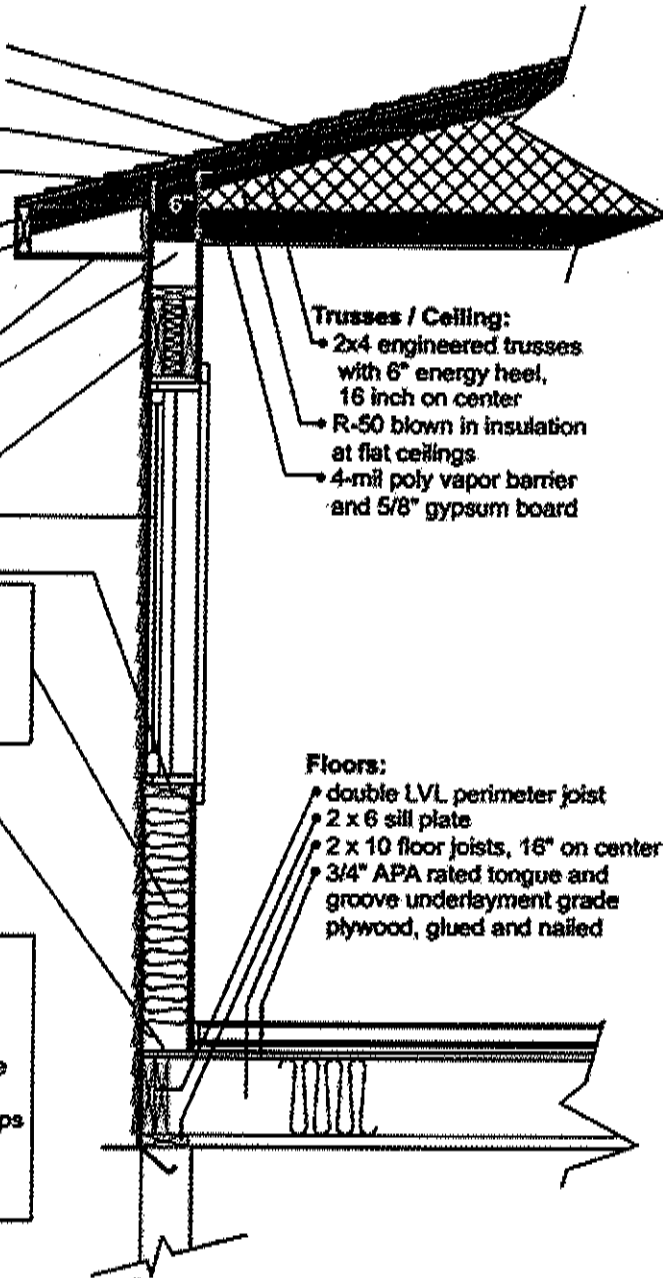
- 2x4 engineered trusses with 6" energy heel, 16 inch on center
- R-50 blown in insulation at flat ceilings
- 4-mil poly vapor barrier and 5/8" gypsum board

**Floors:**

- double LVL perimeter joist
- 2 x 6 sill plate
- 2 x 10 floor joists, 16" on center
- 3/4" APA rated tongue and groove underlayment grade plywood, glued and nailed

**BY OWNER**

- Gutter (if any)
- Decks, stairs, railings
- Foundation, including:
  - Treated 2 x 6 sill plate (end walls only)
  - MASA-Z anchor straps
- Below floor plumbing
- Floor insulation with vapor barrier



# Town of Caroga Building Permit Application

## Owner Information:

Name: Northern Pine Cove, LLC  
Mailing Address: 300 County Highway 111  
City, State, Zip Code: Caroga Lake NY 12032  
Telephone: 518 835-2283  
Email: northern.pine.cove@worldnet.att.net

## Contractor Information:

Name: Double O Builders  
Address: 1130 Clinton Rd  
City, State, Zip Code: Fort Plain NY 13339  
Telephone: 518 672-1073  
Insurance Information: M 259000 5580

## Location of Property:

Address (911#): 300 County Highway 111  
SBL #: 6P.5-2-2

Are there any right of ways associated with this property? Yes or ☒ No  
Are there any wetlands on this property? ☒ Yes or No

## Description of Project:

40'x 60' Garage with 10'x20' lean to  
60' back from Rd  
150' plus back from other neighbor

\*\* Most Projects require measurements from property lines.

☒ Drawings Attached Denied Estimated Value of Project: \$50,000

needs use variance -

Code Enforcement Office will fill in information below.

Permit Type Garage

Denied/Approved Denied

Date of Approval \_\_\_\_\_

Zoning Board

# Town of Caroga Building Permit Application

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Owner/Authorized Agent: Dan John

Date: 10-1-2021

\* Attach Plat; A plan, map, or chart of a piece of land with actual and/or proposed features.



# Town of Caroga Building Permit Application

## Owner Information:

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City, State, Zip Code: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

## Contractor Information:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip Code: \_\_\_\_\_

Telephone: \_\_\_\_\_

Insurance Information: \_\_\_\_\_

## Location of Property:

Address (911#): \_\_\_\_\_

SBL #: \_\_\_\_\_

Are there any right of ways associated with this property?

Are there any wetlands on this property? Yes or No

## Description of Project:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

657.50  
407.50  
250.00  
657.50  
100.00  
Foundation  
50. Sanitation  
Per Anthony

\*\* Most Projects require measurements from property lines.

( ) Drawings Attached

Estimated Value of Project: \$ \_\_\_\_\_

Code Enforcement Office will fill in information below.

Permit Type

(SFD) Foundation

Denied/Approved \_\_\_\_\_

Date of Approval \_\_\_\_\_

Permit Fee

100.00

Paid by Cash or Check # \_\_\_\_\_



# Town of Caroga Building Permit Application

## Owner Information:

Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City, State, Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

## Contractor Information:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State, Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Insurance Information: \_\_\_\_\_

## Location of Property:

Address (911#): \_\_\_\_\_  
SBL #: \_\_\_\_\_

Are there any right of ways associated with this property? Yes or No  
Are there any wetlands on this property? Yes or No

## Description of Project:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**\*\* Most Projects require measurements from property lines.**

( ) Drawings Attached

Estimated Value of Project: \$ \_\_\_\_\_

Code Enforcement Office will fill in information below.

Permit Type

*Sanitation*

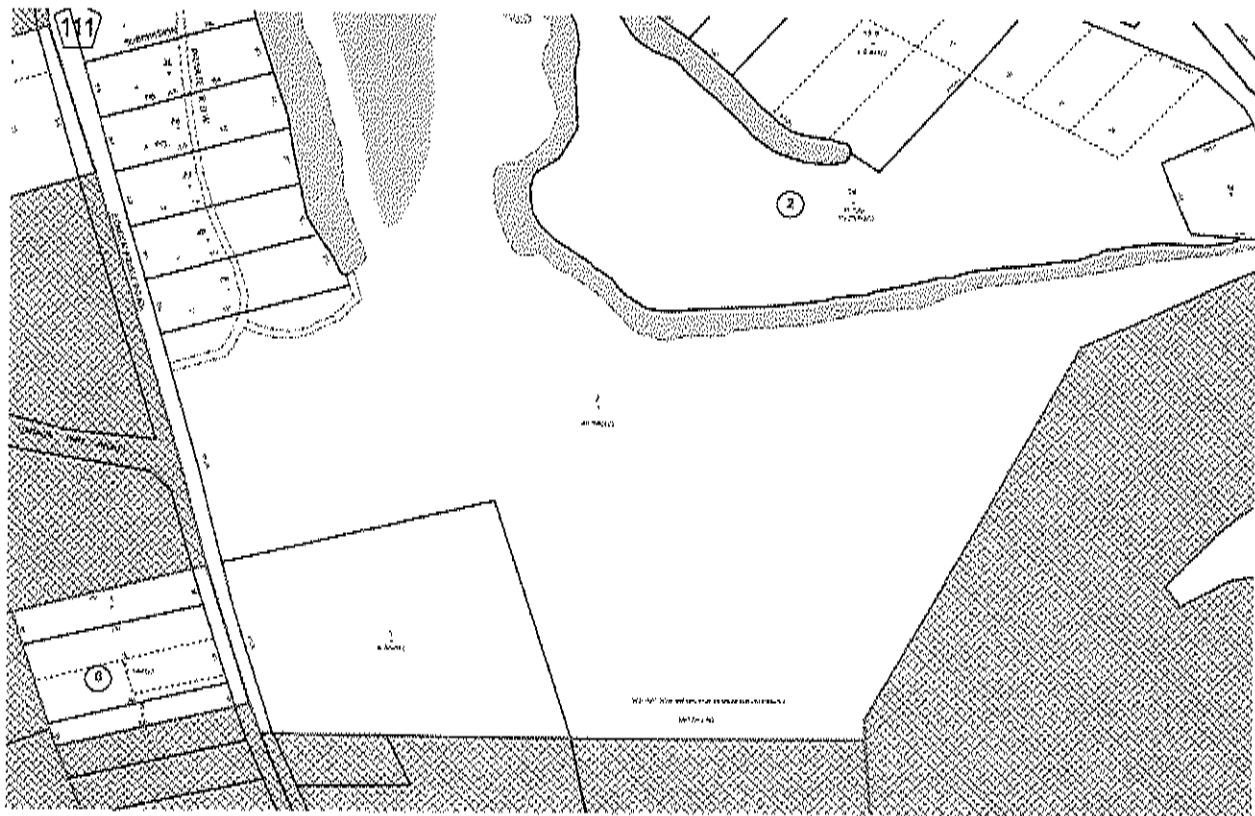
Denied/Approved \_\_\_\_\_

Date of Approval \_\_\_\_\_

Permit Fee

*50.00*

Paid by Cash or Check # \_\_\_\_\_



Zoned LFB &  
 Hamlet  
 LFB  
 Hamlet -  
 APA Hamlet