

# CAROGA ARTS PHASE 1a - STAGE HOUSE

CAROGA ARTS COLLECTIVE

106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032

GRANT SET

PROJECT NO. 20-029.1a

**ARCHITECT**



**Lacey Thaler Reilly Wilson**  
 Architecture & Preservation, LLP  
 25 Monroe Street, Suite 202  
 Albany, New York 12210  
 518.375.1485  
 ltrw-arch.com

**SPECIFICATIONS**

*Sue McClymonds*  
**Architect**

200 ROBB RD  
 AMSTERDAM, NY 12010  
 P.315.843.4054

**DRAWING LIST**

G001 COVER PAGE  
 G002 NOTES, SYMBOLS, & ABBREVIATIONS  
 G003 PARTITION TYPES

C001 OVERALL SITE PLAN  
 C002 STAGE HOUSE SITE PLAN  
 C003 CONSTRUCTION DETAILS

L101 SITE DEMOLITION PLAN  
 L201 SITE LAYOUT AND MATERIALS PLAN  
 L202 LAYOUT AND MATERIAL PLAN ENLARGEMENT  
 L301 GRADING PLAN  
 L302 GRADING PLAN ENLARGMENT  
 L401 SITE PLANTING AND SOILS PLAN  
 L501 SITE DETAILS

S001 STRUCTURAL NOTES, LOADS, AND LEGEND  
 S100 FOUNDATION PLAN  
 S101 FIRST FLOOR STRUCTURE PLAN  
 S102 SECOND FLOOR STRUCTURE PLAN  
 S103 LOWER ROOF STRUCTURE PLAN  
 S104 UPPER ROOF STRUCTURE PLAN

A101 STAGE HOUSE FLOOR PLAN  
 A102 MECH. LOFT PLAN & DETAILS  
 A103 ROOF PLAN  
 A151 REFLECTED CEILING PLAN

A201 NORTH AND WEST ELEVATIONS  
 A202 SOUTH AND EAST ELEVATIONS

**STRUCTURAL ENGINEER**



**SPRING LINE DESIGN**  
 ARCHITECTURE + ENGINEERING  
 SPRING LINE DESIGN  
 73 Troy Rd. #2H  
 East Greenbush, NY 12061  
 (518) 487-4755

**MEP ENGINEER**



**ERDMAN ANTHONY**  
 ERDMAN ANTHONY  
 11 Century Hill Drive, Suite 105  
 Latham, NY 12110  
 (518) 783-1205

**THEATER**



**NEXTSTAGE DESIGN**  
 900 Chapel Street, 10th Floor  
 New Haven, CT 06510  
 (203) 745-0457

**SITE/CIVIL**



**CHA**  
 3 Winners Circle  
 Albany, NY 12205  
 (518) 453-4500

**ACOUSTICS & AV**

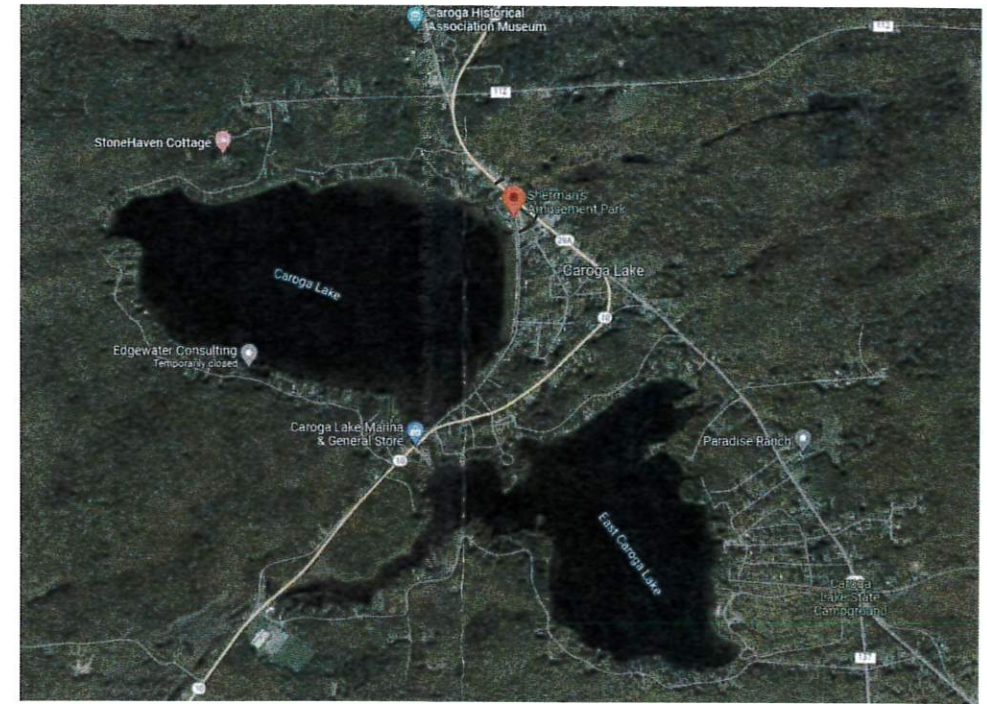


**ACENTECH**  
 33 Moulton Street  
 Cambridge, MA 02138  
 (617) 499-8000

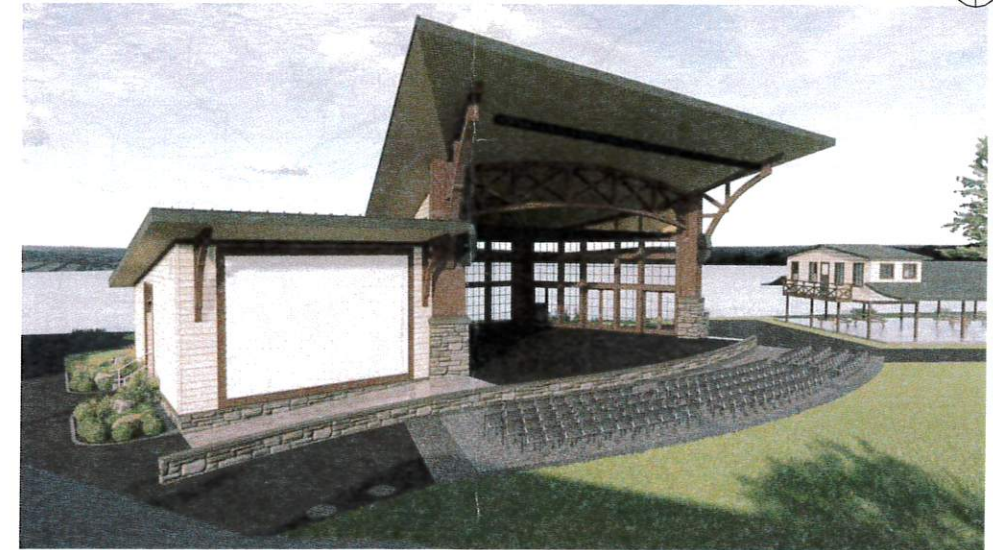
**LANDSCAPE**



**TWMLA**  
 1001 W. Seneca St, Suite 201  
 Ithaca, NY 14850  
 (607) 277-1400



SITE LOCATION MAP



RENDERING - STAGE HOUSE

M000 HVAC SYMBOLS, NOTES & ABBREVIATIONS

M001 MECHANICAL CODE SHEET  
 M201 DUCTWORK PLAN  
 M301 MECHANICAL PIPING PLAN  
 M600 HVAC CONTROL DIAGRAMS  
 M700 HVAC DETAILS  
 M800 HVAC SCHEDULES

E000 ELECTRICAL, NOTES & ABBREVIATIONS

E001 ELECTRICAL SITE PLAN  
 E201 STAGE HOUSE PLAN - LIGHTING  
 E301 STAGE HOUSE PLAN - POWER  
 E401 STAGE HOUSE PLAN - FIRE ALARM  
 E501 DETAILS  
 E502 DETAILS  
 E701 ELECTRICAL DIAGRAMS  
 E800 ELECTRICAL SCHEDULES

AV000 AV SYSTEMS - SYMBOLS AND LEGENDS  
 AV001 AV SYSTEMS - INSTALLATION DETAILS 1  
 AV002 AV SYSTEMS - INSTALLATION DETAILS 2  
 AV101 AV SYSTEMS - STAGE HOUSE FLOOR PLAN  
 AV102 AV SYSTEMS - STAGE FLOOR EQUIPMENT PLAN  
 AV201 AV SYSTEMS - REFLECTED CEILING PLAN  
 AV301 AV SYSTEMS - INTERIOR ELEVATIONS  
 AV401 AV SYSTEMS - RISER DIAGRAMS  
 AV501 AV FUNCTIONAL DIAGRAM - AUDIO SYSTEMS  
 AV502 AV FUNCTIONAL DIAGRAM - VIDEO SYSTEMS  
 AV503 AV FUNCTIONAL DIAGRAM - PROD. COMMUNICATIONS  
 AV601 AV EQUIP. RACK AND PLATE DETAILS

XT001 SYMBOLS & ABBREVIATIONS  
 XT301 SCHEDULES  
 XT501 SCHEDULES  
 XT502 SCHEDULES  
 XT503 SCHEDULES  
 XT531 RISER DIAGRAM  
 XT532 RISER DIAGRAM  
 XT541 DETAILS  
 XT542 DETAILS  
 XT543 DETAILS



**CarogaArts**  
 COLLECTIVE

CAROGA ARTS PHASE 1a - STAGE HOUSE

CAROGA ARTS COLLECTIVE  
 106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032

COVER PAGE

Lacey Thaler Reilly Wilson  
 Architecture & Preservation, LLP  
 25 Monroe Street, Suite 202  
 Albany, NY 12210  
 518.375.1485  
 ltrw-arch.com

© COPYRIGHT 2022  
 LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
 ALL RIGHTS RESERVED AND UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAWS

NO.	REVISIONS

PROJECT NUMBER  
 20-029.1a  
 DATE  
 JULY 22, 2022  
 DRAWN BY  
 LTRW

GRANT SET  
**G001**



G  
F  
E  
D  
C  
B  
A

1 2 3 4 5 6 7 8 9 10

**JACK Thaler Reilly Wilson**  
 Architecture & Preservation, LLP  
 250 Monroe Street, Suite 202  
 Albany, NY 12210  
 518.375.1485  
 jrwr-arch.com

**CIA**  
 a Winner Circle  
 Albany, NY 12206  
 518-433-4501 | www.chaacorporates.com

**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
 CAROGA ARTS COLLECTIVE  
 106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
**OVERALL SITE PLAN**

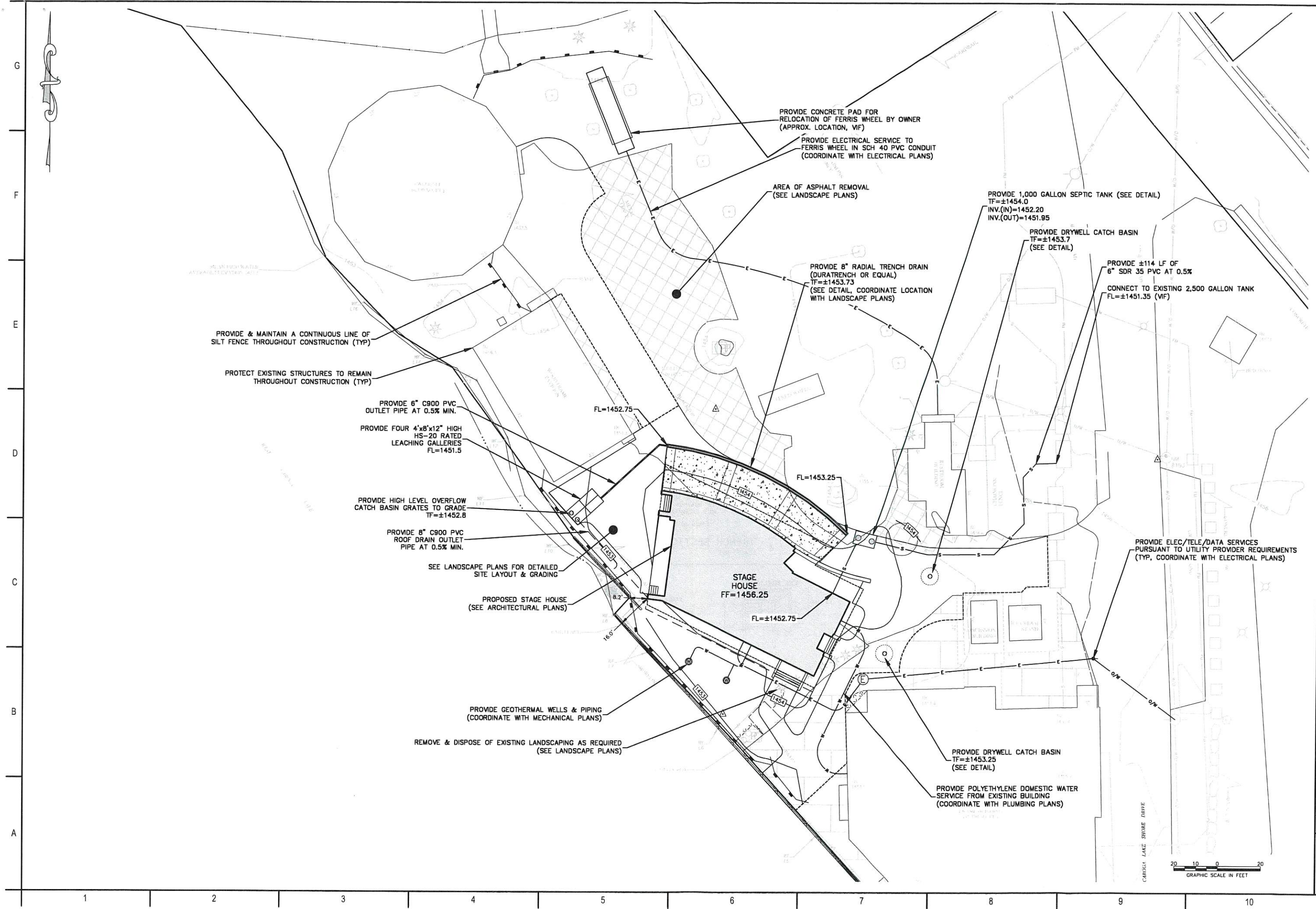
© COPYRIGHT 2022  
 JACK THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
 ALL RIGHTS RESERVED AND UNREGISTERED  
 CONSULTING AND DESIGN SERVICES PROVIDED BY ARCHITECTS AND ENGINEERS

REVISIONS

PROJECT NUMBER  
20-029.1a  
 DATE  
SEPTEMBER 12, 2022  
 DRAWN BY  
P.PARENT

BID SET  
**C001**





Lacey Thaler Reilly Wilson  
Architecture & Preservation, LLP  
25 Monroe Street, Suite 202  
Albany, NY 12210  
518.375.1485  
ltrw-arch.com



**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
CAROGA ARTS COLLECTIVE  
106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
STAGE HOUSE SITE PLAN

© COPYRIGHT 2022 LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP "ALL RIGHTS RESERVED AND UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAWS"
REVISIONS
PROJECT NUMBER 20-029.1a
DATE SEPTEMBER 12, 2022
DRAWN BY P.PARENT
BID SET
<b>C002</b>

G  
F  
E  
D  
C  
B  
A

1 2 3 4 5 6 7 8 9 10

**GENERAL NOTES**

- ALL UTILITIES SHALL BE APPROVED BY LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION; ALL UTILITIES SHALL BE CONSTRUCTED TO UTILITY COMPANY SPECIFICATIONS.
- ALL CONSTRUCTION SHALL BE TO CITY/TOWN SPECIFICATIONS & REGULATIONS.
- NO CHANGES CAN BE MADE TO THESE PLANS WITHOUT THE CITY/TOWN ENGINEER'S APPROVAL.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL & STATE PERMITS PRIOR TO BEGINNING ANY CONSTRUCTION.
- FIELD CHANGES SHALL HAVE PRIOR APPROVAL OF THE CITY/TOWN ENGINEER.
- ALL SEPTIC SYSTEMS & HOUSES SHALL BE LOCATED A MINIMUM OF 50' FROM INLAND WETLANDS.
- CATCH BASIN TOPS SHALL NOT BE CEMENTED DOWN UNTIL FINAL GRADES ARE SET.
- UNLESS OTHERWISE NOTED OR SPECIFIED, ALL ROADWAYS & STORM DRAINAGE SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE NEW YORK STATE D.O.T. HIGHWAY DESIGN MANUAL, REVISION 52, SIMILARLY PERTINENT CONSTRUCTION DETAILS THAT ARE NOT INCLUDED WITH THESE DRAWINGS SHALL CONFORM TO THE DRAWINGS CONTAINED IN THE NEW YORK STATE, D.O.T. METRIC STANDARD SHEETS.
- CONTRACTOR SHALL NOTIFY THE CITY/TOWN ENGINEER OF CONSTRUCTION SCHEDULE SO THAT INSPECTION MAY BE PROVIDED.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED ON PLANS HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- CONTACT "DIG SAFELY" AT 800-962-7962 THREE (3) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

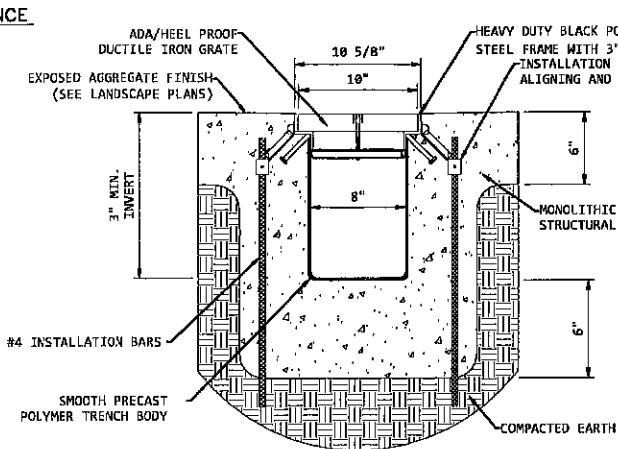
**RECOMMENDED SEQUENCE FOR SITE CONSTRUCTION**

- STAKEOUT LIMIT OF DISTURBANCE.
- HOLD PRECONSTRUCTION MEETING.
- CONTACT "DIG SAFELY" AT 800-962-7962 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- INSTALL TOE OF SLOPE PERIMETER FILTER (SILT FENCE) DOWN GRADIENT FROM ALL AREAS OF LAND CLEARING AND CONSTRUCTION ACTIVITY.
- DEMOLITION OF EXISTING SITE.
- PERFORM ALL NECESSARY CLEARING AND GRUBBING OPERATIONS.
- STRIP ALL TOPSOIL WITHIN THE LIMITS OF CONSTRUCTION. STOCKPILE ALL TOPSOIL IN AN APPROVED AREA AND SECURE WITH EROSION AND SEDIMENT CONTROLS.
- ROUGH GRADE SITE.
- DIG FOUNDATIONS AND STOCKPILE MATERIAL AS REQUIRED.
- CONSTRUCT STORM DRAINAGE SYSTEM STARTING AT THE OUTFALL AND PROCEEDING UPGRADE.
- UPON INSTALLATION OF CATCH BASINS, INLET PROTECTION SHALL BE INSTALLED AND MAINTAINED UNTIL READY FOR PAVING.
- INSTALL REMAINING UTILITIES (WATER, ELECTRIC, SANITARY).
- INSTALL AND GRADE ACCESS AREA SUBBASE.
- TOPSOIL AND GRADE IN ALL SLOPE AREAS WITHIN 2 FEET OF THE PROPOSED PAVEMENT.
- INSTALL BINDER COURSE OF PAVEMENT.
- FINISH GRADE SIDE SLOPES, SEED & MULCH SLOPES AND ALL DISTURBED AREAS.
- INSPECT AND CLEAN DRAINAGE SYSTEM AS NEEDED.
- WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE TOP COURSE OF PAVING.
- INSTALL THE TOP COURSE OF PAVEMENT.
- ALL REMAINING EXPOSED AREAS SHALL BE LOAMED, SEEDDED AND MULCHED OR SODDED WITHIN 14 DAYS OF FINAL GRADING.
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.
- CONTRACTOR TO REMOVE ANY ACCUMULATED SEDIMENT FROM DRAINAGE STRUCTURES OR BASINS.

NOTE: SEVERAL OF THE ABOVE ACTIVITIES MAY BE DONE SIMULTANEOUSLY.

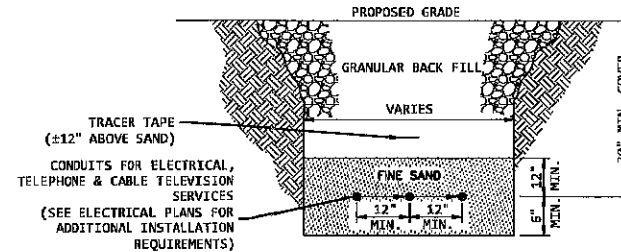
**EROSION & SEDIMENT CONTROL OPERATIONS AND MAINTENANCE**

- EROSION AND SEDIMENTATION CONTROL AND RESTORATION MEASURES SHALL CONFORM TO THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AUGUST 2005" PUBLISHED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND TO CITY/TOWN REGULATIONS.
- INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS HAYBALES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES.
- ALL STOCKPILED MATERIAL SHALL BE RINGED WITH HAYBALES OR SILT FENCES. ANY MATERIAL TO BE STOCKPILED LONGER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING OR JUTE NETTING.
- PAVEMENT AND CURBING SHOULD BE INSTALLED AS SOON AS POSSIBLE AFTER STORM DRAINAGE IS INSTALLED.
- CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTATION BY INLET SEDIMENT CONTROL DEVICES UNTIL ALL AREAS ARE PERMANENTLY VEGETATED OR STABILIZED.
- CATCH BASIN SUMPS SHALL BE CLEANED OF SILT PERIODICALLY DURING CONSTRUCTION.
- SILT FENCE SHALL BE PLACED 5-10 FEET FROM THE TOE OF ALL CRITICAL SLOPES AS SHOWN ON THE PLAN. THESE SHALL BE CHECKED BY THE CONTRACTOR REGULARLY AND REPAIRED WHENEVER THEY FAIL TO ENSURE CLEAN RUN-OFF FROM THE SITE.
- ADDITIONAL CONTROL MEASURES IF REQUESTED BY THE CITY/TOWN SHALL BE INSTALLED IMMEDIATELY UPON REQUEST.
- ALL DISTURBED AREAS SHALL BE PROTECTED WITH A MINIMUM VEGETATION COVER AS SHOWN IN ACCOMPANYING CHART.
- THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS.
- THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO ENSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WILL IMMEDIATELY MAKE NECESSARY REPAIRS IF REQUIRED BY THE CITY/TOWN.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED AT A MINIMUM OF ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REPLACED WITHIN 24 HOURS OF AN OBSERVED FAILURE.
- THE CONTRACTOR HEREBY ACKNOWLEDGES HIS RESPONSIBILITY TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ON THIS SITE AND THAT HIS FAILURE TO INSTALL AND MAINTAIN THESE DEVICES COULD RESULT IN FINES OR SUSPENSION OF WORK BY THE CITY/TOWN.
- MINIMIZE OR ELIMINATE ANY UNNECESSARY LAND DISTURBANCE OR CLEARING.

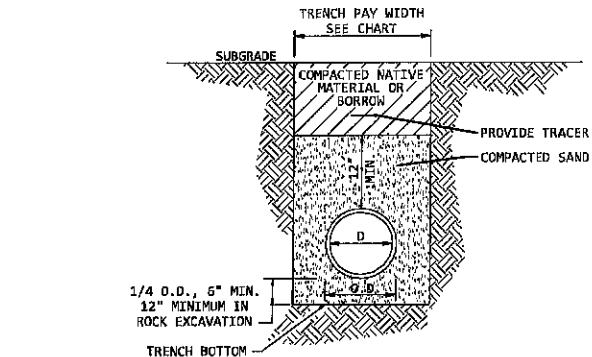
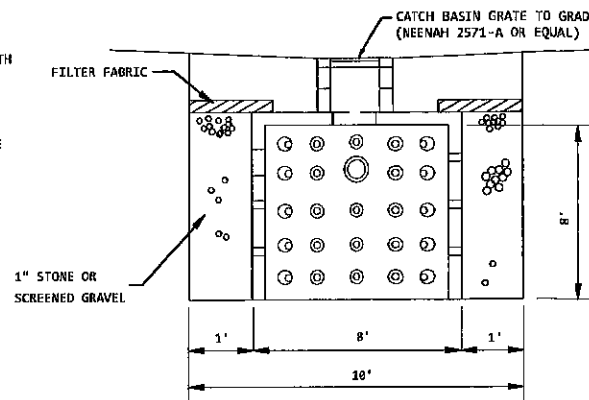


- NOTES:
- STANDARD SLOPE IS 0.5% UNLESS OTHERWISE SPECIFIED
  - REINFORCE ACCORDING TO STRUCTURAL REQUIREMENTS
  - TRENCH DRAIN MUST BE 1/2" BELOW FINISHED CONCRETE GRADE

**1 RADIAL TRENCH DRAIN SECTION**  
SCALE: NTS

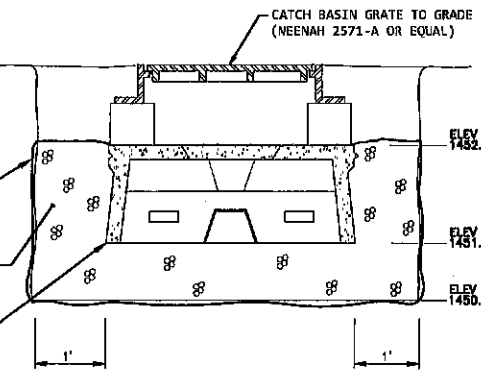


**2 TRENCH SECTION FOR UTILITY CONDUITS**  
SCALE: NTS



PIPE DIAMETER	MAXIMUM TRENCH WIDTH
6"	2'-6"
8"	3'-0"
10"	3'-6"
12"	3'-0"
15"	3'-3"
18"	3'-6"
21"	4'-0"
24"	4'-6"
30"	5'-0"

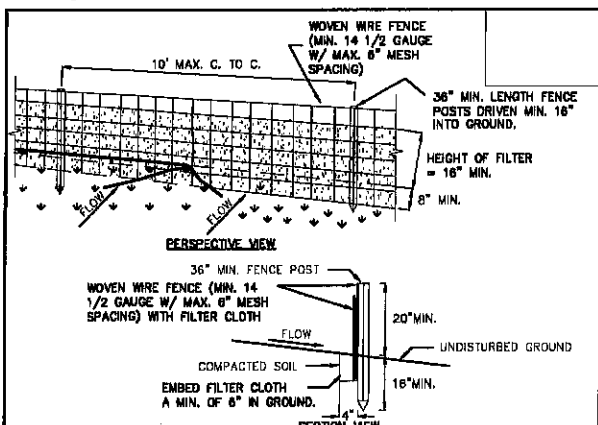
**4 TRENCH SECTION FOR SANITARY & STORM SEWERS**  
SCALE: NTS



**5 DRYWELL CATCH BASIN**  
SCALE: NTS

**6 LEACHING GALLERY SECTION**  
SCALE: NTS

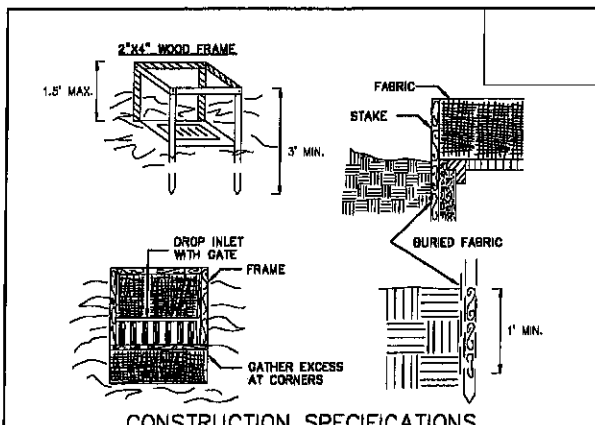
**3 TRENCH SECTION FOR WATER TRENCH**  
SCALE: NTS



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, MIN. 14 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X.
  - EQUIVALENT PREFABRICATED UNITS SHALL BE ALLOWED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCES CONSERVATION SERVICE  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

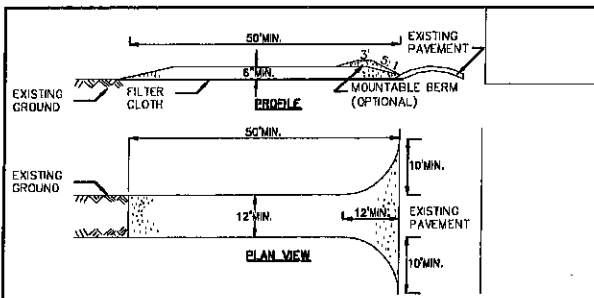
**SILT FENCE**



- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  - STAKE MATERIALS WILL BE STANDARD 2x4 WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
  - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  - A 2x4 WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCES CONSERVATION SERVICE  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

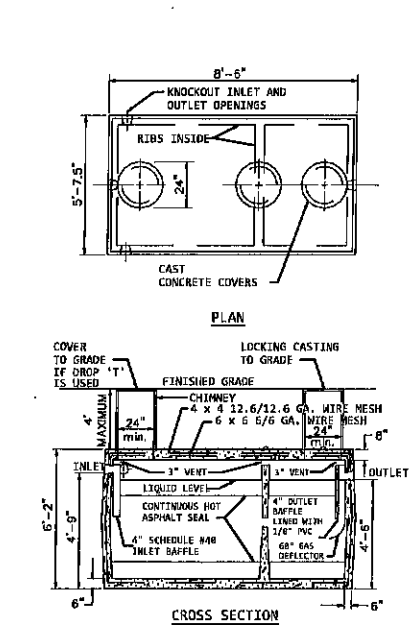
**FILTER FABRIC DROP INLET PROTECTION**



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCES CONSERVATION SERVICE  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

**STABILIZED CONSTRUCTION ENTRANCE**



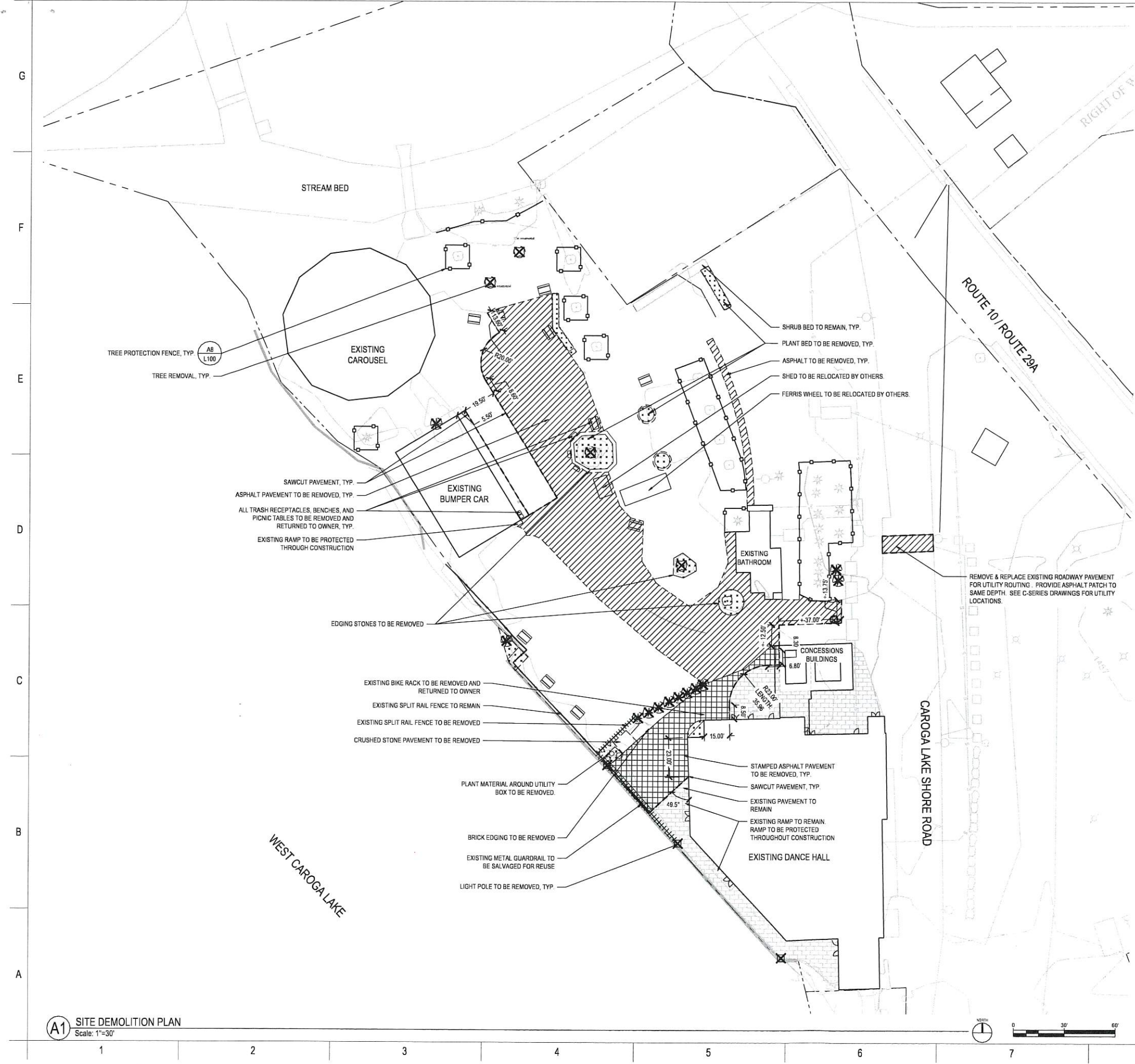
**1,000 GALLON SEPTIC TANK**  
SCALE: NTS

Tracey Thaler Reilly Wilson  
Erosion & Preservation, LLP  
256 Monroe Street, Suite 202  
Albany, NY 12210  
518.375.1485  
trw-arch.com

**GIA**  
3 Winnet Circle  
Albany, NY 12208  
518-453-4500 | www.giacorps.com

**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
CAROGA ARTS COLLECTIVE  
106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
CONSTRUCTION DETAILS

PROJECT NUMBER  
20-028.1a  
DATE  
SEPTEMBER 12, 2022  
DRAWN BY  
P.PARENT  
BID SET  
**C003**



**DEMOLITION NOTES**

- CONSTRUCTION FENCING TO BE INSTALLED AS NECESSARY TO PROTECT PEDESTRIANS, CONTROL VEHICULAR TRAFFIC AND PROTECT ON-SITE CONSTRUCTION MATERIALS.
- CONTRACTOR TO SCHEDULE WITH THE OWNER'S REPRESENTATIVE AND FOLLOW ANY APPLICABLE PROCEDURES WHEN WORK AT ANY BUILDING ENTRANCE/EXIT DOOR WILL TAKE PLACE AND IF TEMPORARY PARTIAL CLOSURE NEEDS TO OCCUR.
- ENTRANCE/EXIT DOORS TO ALL BUILDINGS TO REMAIN FULLY FUNCTIONAL AND UNOBSTRUCTED AS REQUIRED BY CODE TO INSURE THAT PROPER INGRESS AND EGRESS IS MAINTAINED AT ALL TIMES. CONTRACTOR TO PROVIDE TEMPORARY WALKWAYS INCLUDING ADA ACCESS TO MAINTAIN INGRESS AND EGRESS TO ALL BUILDINGS AS NECESSARY.
- PROVIDE SEDIMENTATION CONTROLS AT ALL EXISTING CATCH BASINS AFFECTED BY NEW CONSTRUCTION. SEE CIVIL DRAWINGS FOR EROSION AND SEDIMENT CONTROL PLAN AND SPECS.
- SEE CIVIL DRAWINGS FOR UTILITY AND ELECTRICAL REMOVALS.
- PLANTING BEDS TO BE EXCAVATED TO A MINIMUM DEPTH OF 24".
- BASE MATERIAL IN AREAS TO RECEIVE ASPHALT OR CONCRETE TO BE REMOVED TO SUB-GRADE ELEVATIONS AS REQUIRED TO ACCOMMODATE NEW BASE COURSE.
- PROTECT ALL SURFACE AND SUBSURFACE UTILITIES TO REMAIN DURING DEMOLITION WORK.
- ALL REMOVED/DEMOLISHED MATERIAL INCLUDING FENCES SHALL BECOME CONTRACTOR'S PROPERTY AND REMOVED FROM SITE, UNLESS NOTED OTHERWISE. OWNER TO RESERVE RIGHT OF FIRST REFUSAL ON ALL DEMOLISHED MATERIAL.
- ALL SITE BOULDERS, PLANTERS, AND FURNISHINGS WITHIN AREA OF WORK TO BE REMOVED AS NECESSARY AND TURNED OVER TO OWNER.
- TREES MARKED AS DEMOLISHED ARE TO BE REMOVED COMPLETELY. STUMPS ARE TO BE GROUND 24" BELOW EXISTING GRADE, AND ROOTS 6" AND LARGER ARE TO BE REMOVED.
- REMOVE EXISTING DEAD PLANT MATERIAL WITHIN THE CONTRACT LIMIT LINE. ALL TREES TO REMAIN TO BE PRUNED BY A QUALIFIED ARBORIST.
- PROTECT BENCHMARKS.

**TREE & SOIL PROTECTION NOTES:**

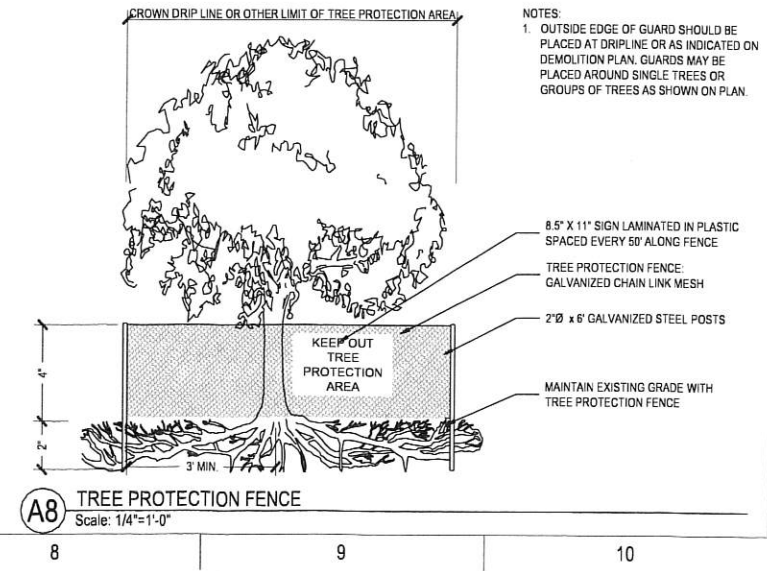
- UTMOST CARE MUST BE TAKEN TO MINIMIZE DAMAGE TO THE EXISTING TREES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL DAMAGED TREES PER SPECIFICATIONS.
- DISTURBANCE WITHIN THE TREE PROTECTION AREAS MUST BE KEPT TO A MINIMUM. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR STORE ANY MATERIALS, EQUIPMENT OR VEHICLES WITHIN AREAS PROTECTED BY THE TREE AND SOIL PROTECTION FENCE.
- PNEUMATIC/AIRSPADE EXCAVATION REQUIRED FOR ALL EXCAVATION/TRENCHING WITHIN 10 FEET OF CANOPY OF EXISTING TREE. PROTECT ROOT SYSTEMS OF EXISTING TREES TO REMAIN. EXCAVATION AREA TO BE REVIEWED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO ANY EXCAVATION.
- IN AREAS WHERE ROOTS OF EXISTING TREES TO REMAIN NEED TO BE REMOVED IN ORDER TO INSTALL PAVEMENTS OR UTILITIES, ROOTS TO BE PRUNED BY A QUALIFIED ARBORIST. ARBORIST ALSO TO THIN REDUCE TREE CANOPY IN PROPORTION TO EXTENT OF ROOT PRUNING.
- STOCKPILE SUFFICIENT QUANTITY OF SUBSOILS FOR AMENDMENT & USE IN PLANTING BEDS & LAWN INSTALLATION.
- STRIP AND STOCKPILE 4" - 6" OF TOPSOIL. NO TOPSOIL STRIPPING OR STOCKPILING TO OCCUR WITHIN TREE PROTECTION FENCE / TREE DRIP LINES. STOCKPILED TOPSOIL MUST BE SCREENED AND AMENDED TO MEET PROJECT SPECIFICATIONS FOR REUSE.
- WHERE SITE GRADING NECESSITATES FIELD WORK WITHIN THE TREE AND SOIL PROTECTION ZONE AND CANNOT BE AVOIDED, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND TAKE PROTECTIVE MEASURES IN ACCORDANCE WITH WRITTEN SPECIFICATIONS. PROTECTION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: AIR SPADING, DRAINAGE FILL AND FILTER FABRIC, SHORING, HAND DIGGING AND ROOT PRUNING.
- MOWING: CONTRACTOR TO BE RESPONSIBLE FOR MOWING & LAWN MAINTENANCE FOR ANY EXISTING TURF TO REMAIN WITHIN CONTRACT LIMIT LINE.

**LEGEND**

- TREE PROTECTION FENCE
- STAMPED ASPHALT PAVEMENT REMOVAL
- ASPHALT PAVEMENT REMOVAL
- PLANT MATERIAL REMOVAL
- TREE TO BE REMOVED
- LIGHT POLE TO BE REMOVED
- FENCE TO BE REMOVED
- SAWCUT PAVEMENT

**NOTES:**

- OUTSIDE EDGE OF GUARD SHOULD BE PLACED AT DRIPLINE OR AS INDICATED ON DEMOLITION PLAN. GUARDS MAY BE PLACED AROUND SINGLE TREES OR GROUPS OF TREES AS SHOWN ON PLAN.



**A1** SITE DEMOLITION PLAN  
Scale: 1"=30'

**A8** TREE PROTECTION FENCE  
Scale: 1/4"=1'-0"

**Lacey Thaler Reilly Wilson**  
Architecture & Preservation, LLP  
25 Monroe Street, Suite 202  
Albany, NY 12210  
518.375.1485  
ltrw@arch.com

---

**TWMLA**  
A FISHER ASSOCIATES  
LANDSCAPE ARCHITECTURE STUDIO  
1000 WEST CAROGA LAKE RD. ALBANY, NY 12206

---

**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
CAROGA ARTS COLLECTIVE  
106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
SITE DEMOLITION PLAN

---

© COPYRIGHT 2022  
LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
"ALL RIGHTS RESERVED" AND "UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAWS"

REVISIONS	

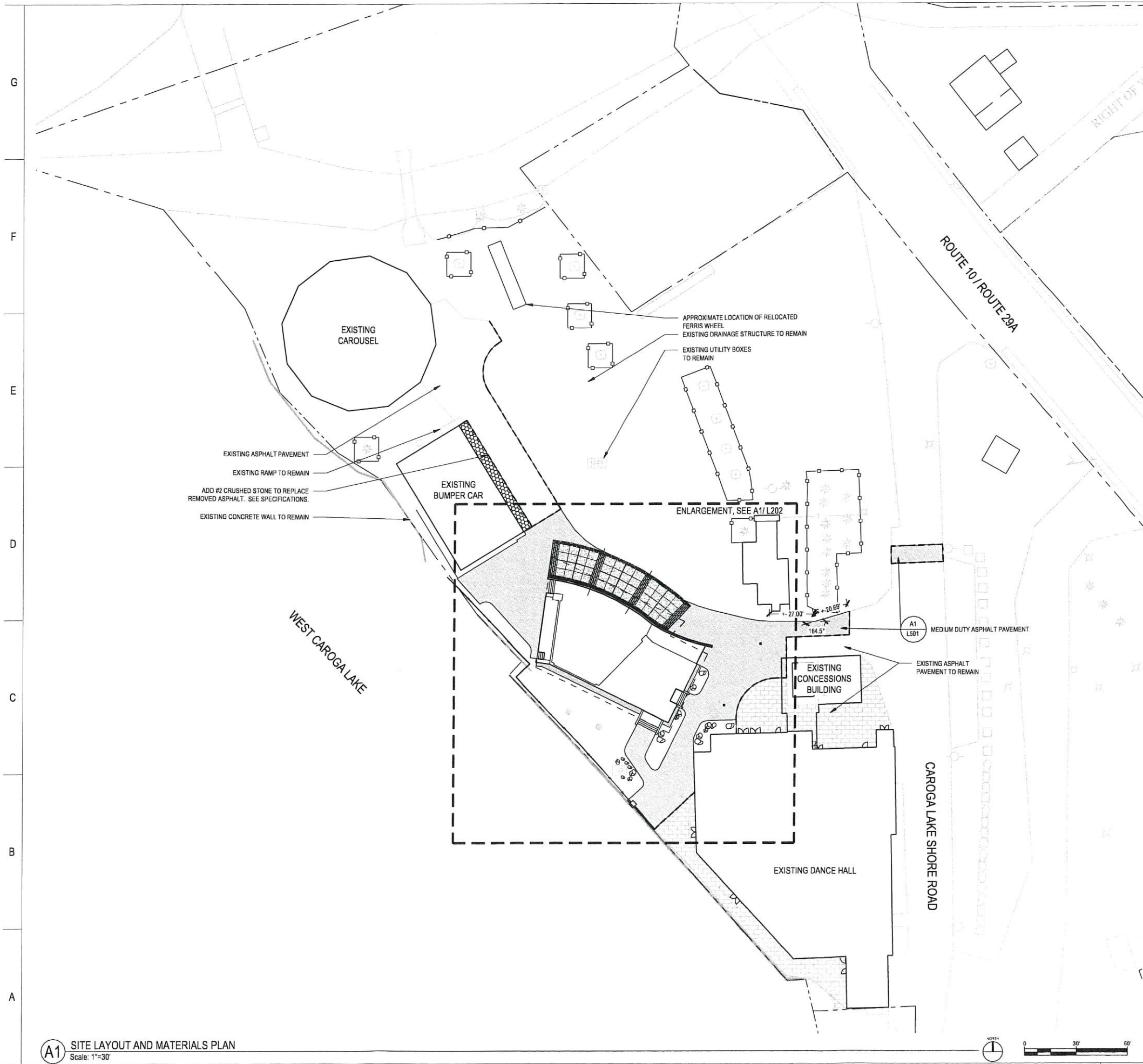
---

PROJECT NUMBER  
20-029.1a  
DATE  
JULY 22, 2022  
DRAWN BY  
TWMLA

---

GRANT SET  
**L101**

7/17/2022 12:26:15 PM



**LAYOUT NOTES:**

1. GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS HAVING UNDERGROUND UTILITIES ON SITE PRIOR TO EXCAVATION.
2. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.
3. SEE CIVIL AND ELECTRICAL DRAWINGS FOR LAYOUT OF UNDERGROUND UTILITIES AND SITE LIGHTING.
4. VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT BEFORE PROCEEDING.
5. WALKS, DRIVES, CURBS, PARKING, & BUILDING LOCATIONS TO BE LAID OUT IN THE FIELD BY A LICENSED SURVEYOR.
6. ALL LAYOUT IS PARALLEL OR PERPENDICULAR TO BUILDING UNLESS OTHERWISE NOTED.
7. INSTALL EXPANSION JOINTS EVERY 30' MAX IN CONCRETE PAVEMENT AND IN AREAS WHERE CONCRETE ABUTS CURBS OR OTHER FIXED OBJECTS.
8. DO NOT SCALE FROM MEASURING DRAWINGS.

KEY	MATERIAL	DETAIL
	MEDIUM DUTY ASPHALT PAVEMENT	A1 L501
	BASE BID: EXPOSED AGGREGATE INTEGRAL COLOR CONCRETE ADD ALTERNATE: GRANITE UNIT PAVER FIELD OVER CONCRETE BASE	A5 L501
	GRANITE UNIT PAVER BAND OVER CONCRETE BASE	C1 L501    C3 L501
	STONE MULCH WITH STEEL EDGE, TYP.	C8 L501
	#2 CRUSHED STONE	N/A
	GRANITE GLACIAL ERRATIC BOULDERS	E3 L501
	DRY WELL DRAIN INLET. SEE C-SERIES DRAWINGS	N/A
	RADIAL TRENCH DRAIN. SEE C-SERIES DRAWINGS	N/A

Lacey Thaler Reilly Wilson  
 Architecture & Preservation, LLP  
 25 Monroe Street, Suite 202  
 Albany, NY 12210  
 518.375.1485  
 lrw-arch.com



**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
 CAROGA ARTS COLLECTIVE  
 106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
 SITE LAYOUT AND MATERIALS PLAN

© COPYRIGHT 2022  
 LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
 ALL RIGHTS RESERVED AND UNAUTHORIZED REPRODUCTION IS PROHIBITED AT ALL APPLICABLE LAWS.

REVISIONS

PROJECT NUMBER  
20-029.1a

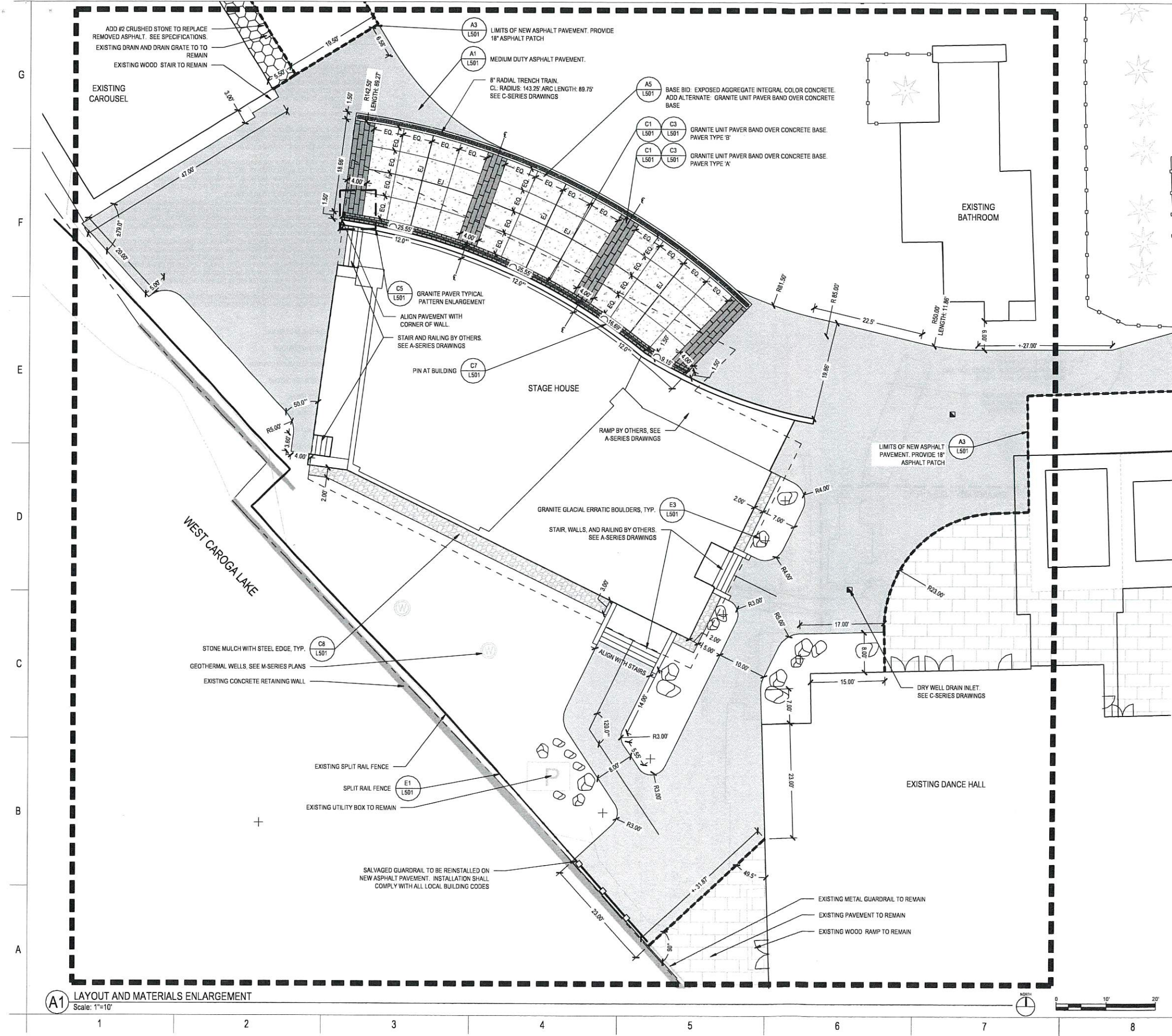
DATE  
JULY 22, 2022

DRAWN BY  
TWMLA

GRANT SET  
**L201**

7/11/2022 1:26:15 PM

**A1 SITE LAYOUT AND MATERIALS PLAN**  
 Scale: 1"=30'



**LAYOUT NOTES:**

1. GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS HAVING UNDERGROUND UTILITIES ON SITE PRIOR TO EXCAVATION.
2. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.
3. SEE CIVIL AND ELECTRICAL DRAWINGS FOR LAYOUT OF UNDERGROUND UTILITIES AND SITE LIGHTING.
4. VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT BEFORE PROCEEDING.
5. WALKS, DRIVES, CURBS, PARKING, & BUILDING LOCATIONS TO BE LAID OUT IN THE FIELD BY A LICENSED SURVEYOR.
6. ALL LAYOUT IS PARALLEL OR PERPENDICULAR TO BUILDING UNLESS OTHERWISE NOTED.
7. INSTALL EXPANSION JOINTS EVERY 30' MAX IN CONCRETE PAVEMENT AND IN AREAS WHERE CONCRETE ABUTS CURBS OR OTHER FIXED OBJECTS.
8. DO NOT SCALE FROM MEASURING DRAWINGS.

KEY	MATERIAL	DETAIL
	MEDIUM DUTY ASPHALT PAVEMENT	A1 L501
	BASE BID: EXPOSED AGGREGATE INTEGRAL COLOR CONCRETE ADD ALTERNATE: GRANITE UNIT PAVER FIELD OVER CONCRETE BASE	A5 L501
	GRANITE UNIT PAVER BAND OVER CONCRETE BASE	C1 L501    C3 L501
	STONE MULCH WITH STEEL EDGE, TYP.	C8 L501
	#2 CRUSHED STONE	SEE SPECIFICATIONS
	GRANITE GLACIAL ERRATIC BOULDERS	E3 L501
	DRY WELL DRAIN INLET. SEE C-SERIES DRAWINGS	N/A
	RADIAL TRENCH DRAIN. SEE C-SERIES DRAWINGS	N/A

Lacey Thaler Reilly Wilson  
Architecture & Preservation, LLP  
25 Monroe Street, Suite 202  
Albany, NY 12210  
518.375.1485  
ltrw@arch.com



**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
CAROGA ARTS COLLECTIVE  
106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
**LAYOUT AND MATERIALS PLAN ENLARGEMENT**

© COPYRIGHT 2022  
LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
"ALL RIGHTS RESERVED AND UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAWS"

REVISIONS

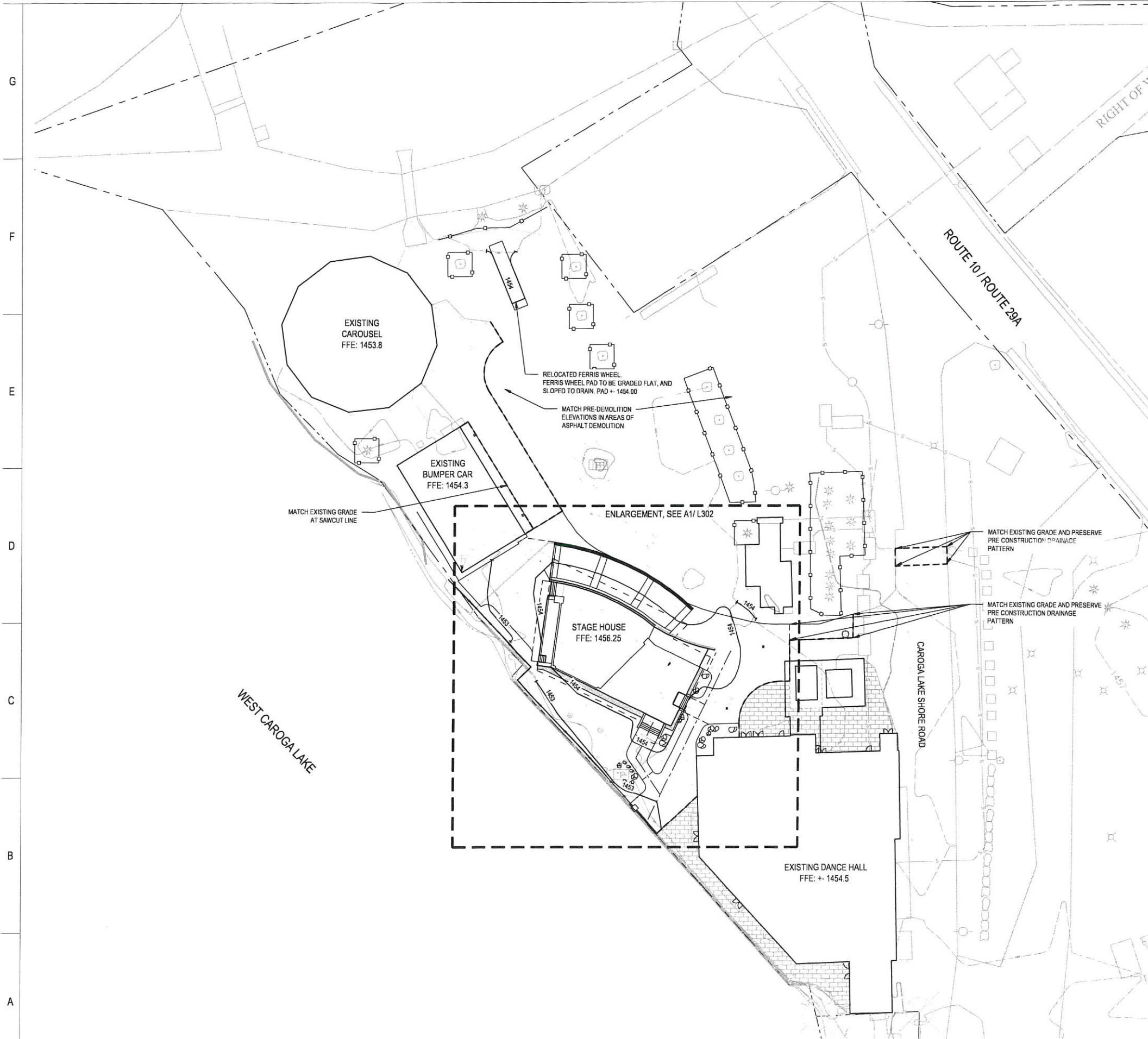
NO.	DESCRIPTION

PROJECT NUMBER  
20-029.1a  
DATE  
JULY 22, 2022  
DRAWN BY  
TVMLA

GRANT SET  
**L202**

**A1** LAYOUT AND MATERIALS ENLARGEMENT  
Scale: 1"=10'

7/11/2022 1:26:15 PM



### GRADING NOTES

1. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE.
2. GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START AND ANY EXCAVATION.
3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
4. VERIFY SPOT ELEVATIONS BEFORE PROCEEDING WITH WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT BEFORE PROCEEDING.
5. ALL DOORWAY THRESHOLDS TO HAVE A MAXIMUM OF 1/2" RISE TO FINISHED FLOOR UNLESS OTHERWISE NOTED.
6. ALL BUILDING ENTRIES TO HAVE A MAXIMUM RUNNING AND CROSS SLOPE OF 2% EXTENDING 5' FROM THE DOOR(S) X THE ENTIRE WIDTH OF THE ENTRY / DOORS.
7. ALL RAMP AND STAIRS TO HAVE A LANDING AT TOP AND BOTTOM WITH A MAXIMUM 2% RUNNING AND CROSS SLOPE EXTENDING 5' X THE ENTIRE WIDTH OF THE STAIR OR RAMP.
8. GRADING AROUND EXISTING TREES TO BE MINIMIZED.
9. PNEUMATIC / AIRSPADE EXCAVATION REQUIRED FOR ALL EXCAVATION/TRENCHING WITHIN 10 FEET OF CANOPY OF EXISTING TREE. PROTECT ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
10. MINIMIZE IMPACT TO EXISTING, REMAINING LANDSCAPE WHILE EXCAVATING. GREAT CARE IS TO BE TAKEN TO AVOID DISTURBING ROOTS OF EXISTING TREES. HAND EXCAVATION WILL BE REQUIRED WHERE EXISTING TREE ROOTS ARE PRESENT.
11. WHERE SITE GRADING NECESSITATES FIELD WORK WITHIN THE TREE AND SOIL PROTECTION ZONE AND CANNOT BE AVOIDED, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE AND TAKE PROTECTIVE MEASURES IN ACCORDANCE WITH WRITTEN SPECIFICATIONS. PROTECTIVE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, AIR SPADING, DRAINAGE FILL AND FILTER FABRIC, SHORING, HAND DIGGING AND ROOT PRUNING.
12. ALL EXISTING UTILITY COVERS AND GRATES WITHIN THE AREA OF DISTURBANCE ARE TO BE ADJUSTED TO MEET PROPOSED GRADES.
13. MATCH EXISTING GRADE AT ALL EDGES WHERE PROJECT WORK MEETS EXISTING SITE.
14. SEE CIVIL AND ELECTRICAL DRAWINGS FOR PROPOSED UTILITIES.

- EXISTING SPOT GRADE
- 1452--- EXISTING CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED CONTOUR
- GRADE BREAK
- EL = PROPOSED SPOT ELEVATION
- FFE = FINISHED FLOOR ELEVATION
- BS = BOTTOM STAIR ELEVATION
- TS = TOP STAIR ELEVATION
- BR = BOTTOM RAMP ELEVATION
- RIM EL = RIM ELEVATION

Lacey Thaler Reilly Wilson  
 Architecture & Preservation, LLP  
 25 Monroe Street, Suite 202  
 Albany, NY 12210  
 518.375.1485  
 ltrw-arch.com



**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
 CAROGA ARTS COLLECTIVE  
 106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
**SITE GRADING PLAN**

© COPYRIGHT 2022  
 LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
 ALL RIGHTS RESERVED AND UNAUTHORIZED REPLICATION IS PROHIBITED BY APPLICABLE LAW.

REVISIONS

PROJECT NUMBER  
 20-029.1a  
 DATE  
 JULY 22, 2022  
 DRAWN BY  
 TWMLA

GRANT SET  
**L301**

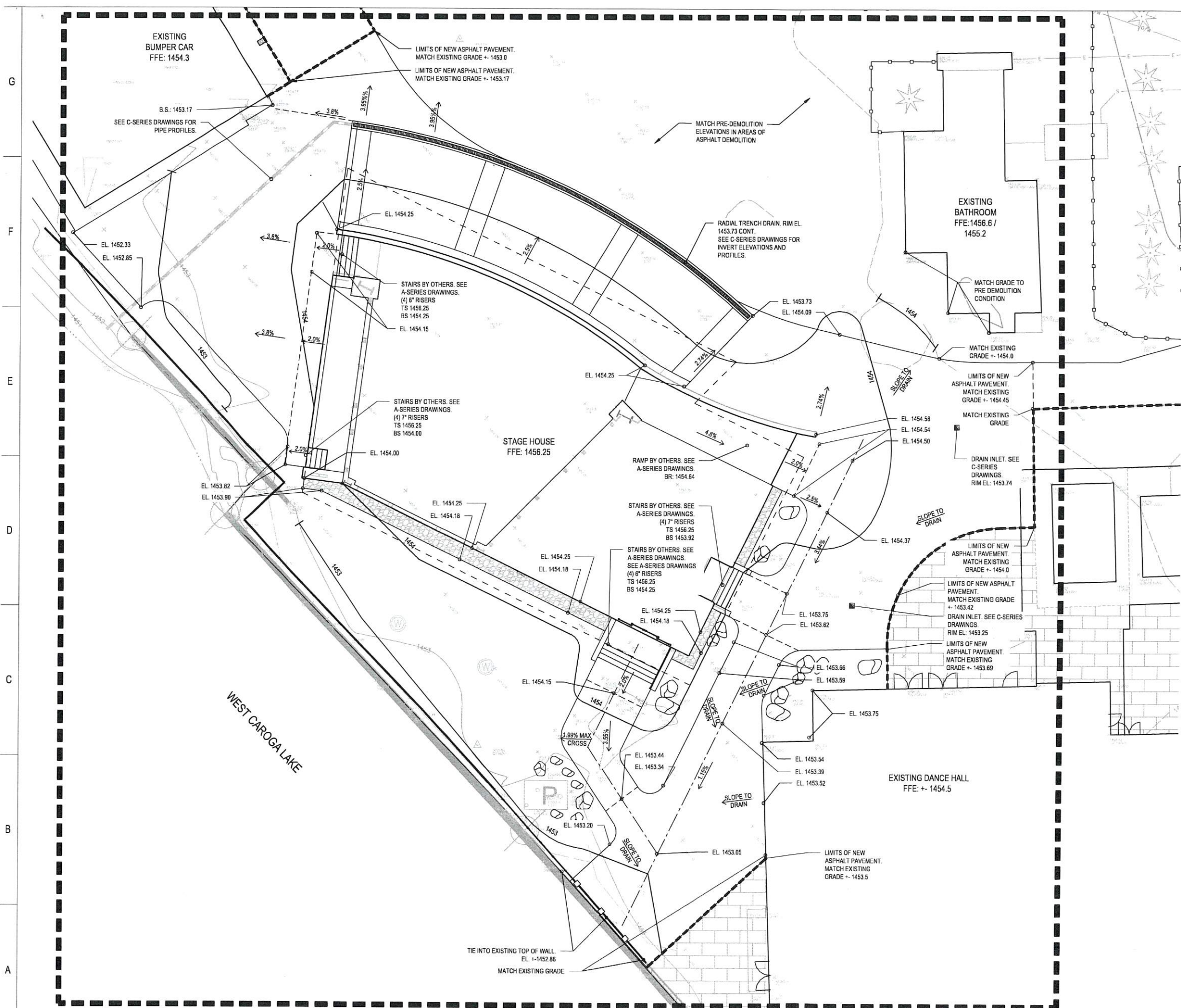
**A1** SITE GRADING PLAN  
 Scale: 1"=30'



1 2 3 4 5 6 7 8 9 10

7/11/2022 1:26:15 PM





### GRADING NOTES

1. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE.
2. GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START AND ANY EXCAVATION.
3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
4. VERIFY SPOT ELEVATIONS BEFORE PROCEEDING WITH WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT BEFORE PROCEEDING.
5. ALL DOORWAY THRESHOLDS TO HAVE A MAXIMUM OF 1/2" RISE TO FINISHED FLOOR UNLESS OTHERWISE NOTED.
6. ALL BUILDING ENTRIES TO HAVE A MAXIMUM RUNNING AND CROSS SLOPE OF 2% EXTENDING 5' FROM THE DOOR(S) X THE ENTIRE WIDTH OF THE ENTRY / DOORS.
7. ALL RAMP AND STAIRS TO HAVE A LANDING AT TOP AND BOTTOM WITH A MAXIMUM 2% RUNNING AND CROSS SLOPE EXTENDING 5' X THE ENTIRE WIDTH OF THE STAIR OR RAMP.
8. GRADING AROUND EXISTING TREES TO BE MINIMIZED.
9. PNEUMATIC / AIRSPADE EXCAVATION REQUIRED FOR ALL EXCAVATION/TRENCHING WITHIN 10 FEET OF CANOPY OF EXISTING TREE. PROTECT ROOT SYSTEMS OF EXISTING TREES TO REMAIN. MINIMIZE IMPACT TO EXISTING, REMAINING LANDSCAPE WHILE EXCAVATING. GREAT CARE IS TO BE TAKEN TO AVOID DISTURBING ROOTS OF EXISTING TREES. HAND EXCAVATION WILL BE REQUIRED WHERE EXISTING TREE ROOTS ARE PRESENT.
11. WHERE SITE GRADING NECESSITATES FIELD WORK WITHIN THE TREE AND SOIL PROTECTION ZONE AND CANNOT BE AVOIDED, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE AND TAKE PROTECTIVE MEASURES IN ACCORDANCE WITH WRITTEN SPECIFICATIONS. PROTECTION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: AIR SPADING, DRAINAGE FILL AND FILTER FABRIC, SHORING, HAND DIGGING AND ROOT PRUNING.
12. ALL EXISTING UTILITY COVERS AND GRATES WITHIN THE AREA OF DISTURBANCE ARE TO BE ADJUSTED TO MEET PROPOSED GRADES.
13. MATCH EXISTING GRADE AT ALL EDGES WHERE PROJECT WORK MEETS EXISTING SITE.
14. SEE CIVIL AND ELECTRICAL DRAWINGS FOR PROPOSED UTILITIES.

- EXISTING SPOT GRADE
- - - - EXISTING CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED CONTOUR
- - - - GRADE BREAK
- EL = PROPOSED SPOT ELEVATION
- FFE = FINISHED FLOOR ELEVATION
- BS = BOTTOM STAIR ELEVATION
- TS = TOP STAIR ELEVATION
- BR = BOTTOM RAMP ELEVATION
- RIM EL = RIM ELEVATION

Lacey Thaler Reilly Wilson  
 Architecture & Preservation, LLP  
 25 Monroe Street, Suite 202  
 Albany, NY 12210  
 518.375.1485  
 ltrw-arch.com



**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
 CAROGA ARTS COLLECTIVE  
 106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
 GRADING PLAN ENLARGEMENT

© COPYRIGHT 2022  
 LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
 ALL RIGHTS RESERVED. ANY UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAWS.

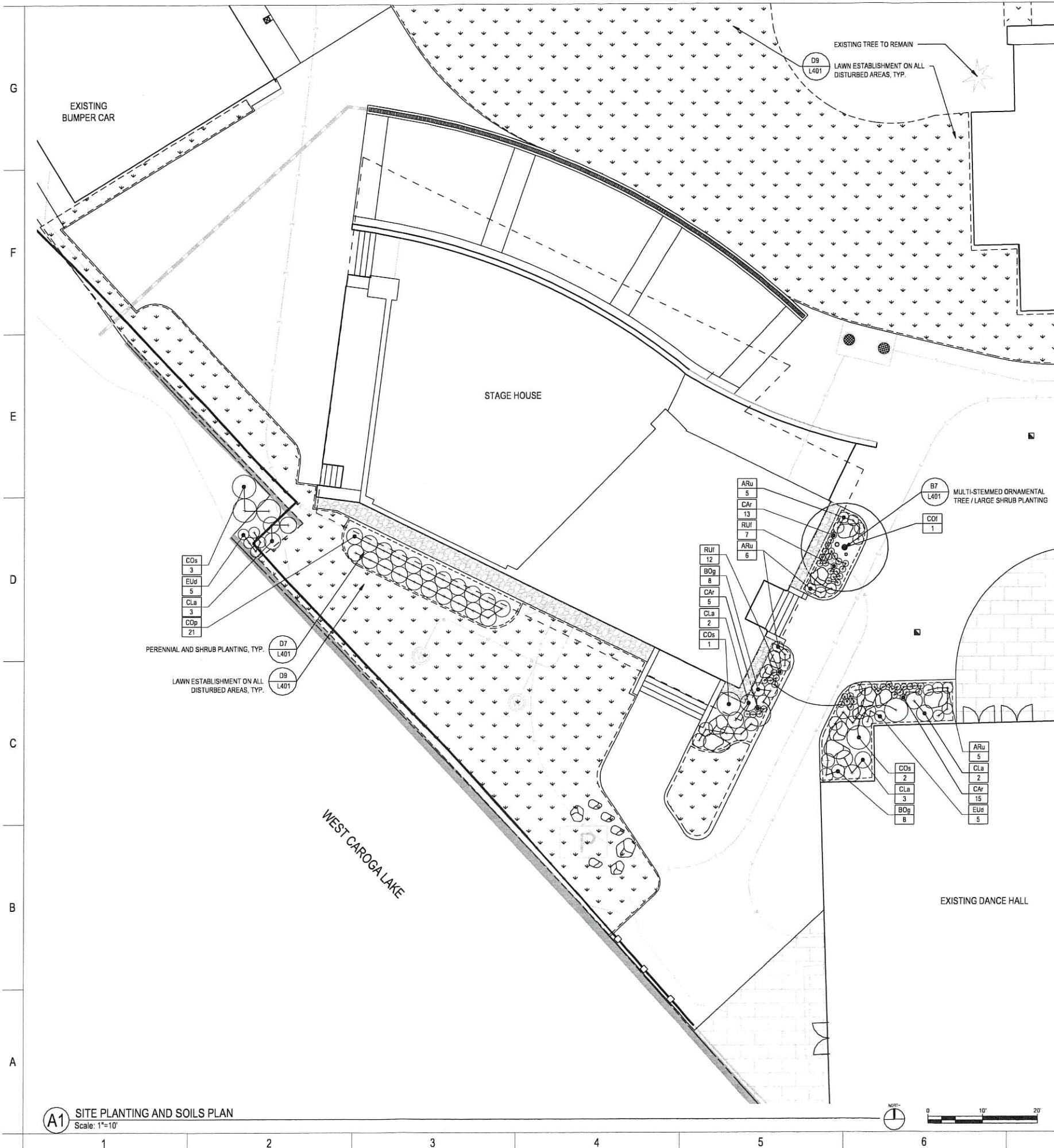
REVISIONS

PROJECT NUMBER  
20-029.1a  
 DATE  
JULY 22, 2022  
 DRAWN BY  
TWMLA

GRANT SET  
**L302**

**A1** GRADING PLAN ENLARGEMENT  
 Scale: 1"=10'

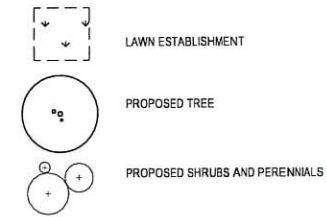




**A1** SITE PLANTING AND SOILS PLAN  
Scale: 1"=10'

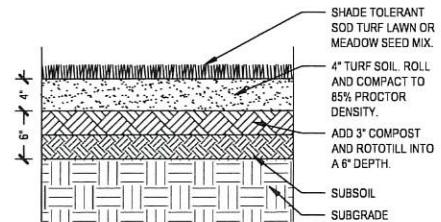
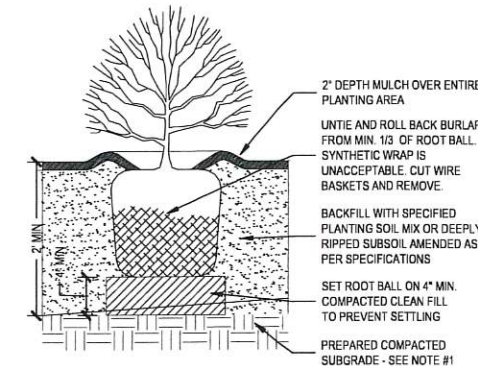
**PLANTING NOTES**

- STRIP AND STOCKPILE EXISTING TOPSOIL FOR REUSE. STOCKPILED TOPSOIL MUST BE AMENDED TO MEET PROJECT SPECIFICATIONS.
- ALL PLANTING BEDS TO BE PREPARED AS SPECIFIED. SHRUB BEDS TO BE PREPARED IN THEIR ENTIRETY WITH 24" PLANTING SOIL MIX. TREE PITS TO BE DUG TO DEPTH OF ROOTBALL BY 3X THE DIAMETER.
- AFTER BEDS ARE PREPARED, THE LANDSCAPE CONTRACTOR IS TO LOCATE TREES, SHRUBS AND VINES AS SHOWN ON PLANS. TREE, SHRUB AND PERENNIAL LOCATIONS ARE TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE THEY ARE PLANTED.
- ANY AND ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT SHOWN AS PAVED OR PLANTED BED ARE TO BE SEED AS TURF LAWN, UNLESS INDICATED OTHERWISE. PREPARE AND TURF LAWN AS PER SPECIFICATIONS AND DETAILS.
- KEEP ALL SHRUBS PLANTED IN BEDS ADJACENT TO WALKS A MINIMUM OF 12" FROM EDGE OF WALKWAY.
- ALL TREES AND PLANTS TO COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
- MAINTAIN AND WARRANTY ALL LIVING PLANT MATERIAL AS PER SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN WITHIN THE CONTRACT LIMIT LINE TO BE PROTECTED DURING CONSTRUCTION. SEE DEMOLITION PLANS.
- ALL EXISTING TREES TO REMAIN WITHIN THE CONTRACT LIMIT LINE TO BE PRUNED BY A QUALIFIED ARBORIST.
- ANY EXISTING TREES DAMAGED BY CONSTRUCTION ACTIVITIES TO BE PRUNED BY A QUALIFIED ARBORIST OR REPLACED IN KIND AT NO COST TO THE OWNER AS DETERMINED BY LEVEL OF DAMAGE AND LANDSCAPE ARCHITECT RECOMMENDATION.
- HAND DIG AND PLANT SHRUBS AND PERENNIALS WITHIN CANOPY OF EXISTING TREES. PROTECT ROOTS OF EXISTING TREES DURING INSTALLATION.
- TURF LAWN AND LOW GROW LAWN ARE TO BE ESTABLISHED EARLY ENOUGH TO ACHIEVE 80% COVERAGE BY THE END OF THE GROWING SEASON.
- SEE CIVIL & ELECTRICAL DRAWINGS FOR UNDERGROUND UTILITIES.



NOTE:  
1. BACK FILL WITH CLEAN FILL OR DEEP RIPPED SUBSOIL, AMENDED AS PER SPECIFICATIONS, AS NECESSARY TO ESTABLISH SUBGRADE ELEVATION.

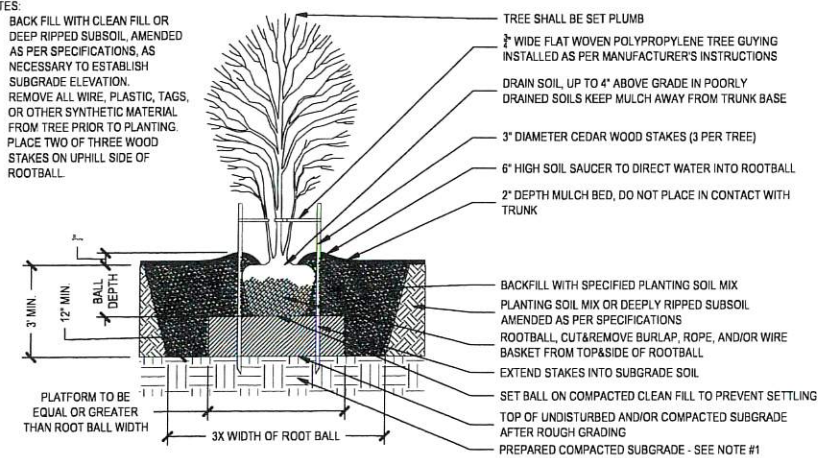
NOTE:  
1. BACK FILL WITH CLEAN FILL OR DEEP RIPPED SUBSOIL, AMENDED AS PER SPECIFICATIONS, AS NECESSARY TO ESTABLISH SUBGRADE ELEVATION.



**D7** PERENNIAL AND SHRUB PLANTING  
Scale: 1"=1'-0"

**D9** LAWN ESTABLISHMENT  
Scale: 1"=1'-0"

- NOTES:
- BACK FILL WITH CLEAN FILL OR DEEP RIPPED SUBSOIL, AMENDED AS PER SPECIFICATIONS, AS NECESSARY TO ESTABLISH SUBGRADE ELEVATION.
  - REMOVE ALL WIRE, PLASTIC, TAGS, OR OTHER SYNTHETIC MATERIAL FROM TREE PRIOR TO PLANTING. PLACE TWO OF THREE WOOD STAKES ON UPHILL SIDE OF ROOTBALL.



**B7** MULTI-STEM ORNAMENTAL TREE/ LARGE SHRUB PLANTING  
Scale: 1/4"=1'-0"

PLANTING COMPOSITION SCHEDULE							
KEY	SPECIES QUANTITY	BOTANICAL NAME	COMMON NAME	UNIT	SIZE	INDIVIDUAL MIN SPACING O.C.	NOTES
<b>TREES</b>							
Cof	1	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS FLOWERING DOGWOOD	B&B	7-8 FT	N/A	MULTI-STEM
<b>SHRUBS / PERENNIALS</b>							
Aru	16	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	#1	6-8"	24"	GROUND COVER
Bog	16	BOUTELOUJA GRACILIS	BLUE GRAMA	# SP5		24"	GRAMINOID
Car	33	CAREX ROSEA	ROSY SEDGE	# SP5		12"	GRAMINOID
ClA	10	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	#3	15-30"	30"	SMALL SHRUB
COp	21	COMPTONIA PEREGRINA	SWEET FERN	#1	8-14"	30"	SMALL SHRUB
COs	6	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED OSIER DOGWOOD	#3	15-30"	42"	SMALL SHRUB
Eud	6	EUTROCHUM DUBIUM 'LITTLE JOE'	LITTLE JOE-PYE WEED	#1	8-14"	30"	PERENNIAL
RUI	20	RUDBECKIA FULGIDA VAR. 'SULLIVANSII'	GOLDSTURM BLACK EYED SUSAN	#1	8-14"	24"	PERENNIAL

Lacey Thaler Reilly Wilson  
Architecture & Preservation, LLP  
25 Monroe Street, Suite 202  
Albany, NY 12210  
518.375.1485  
ltyw-arch.com

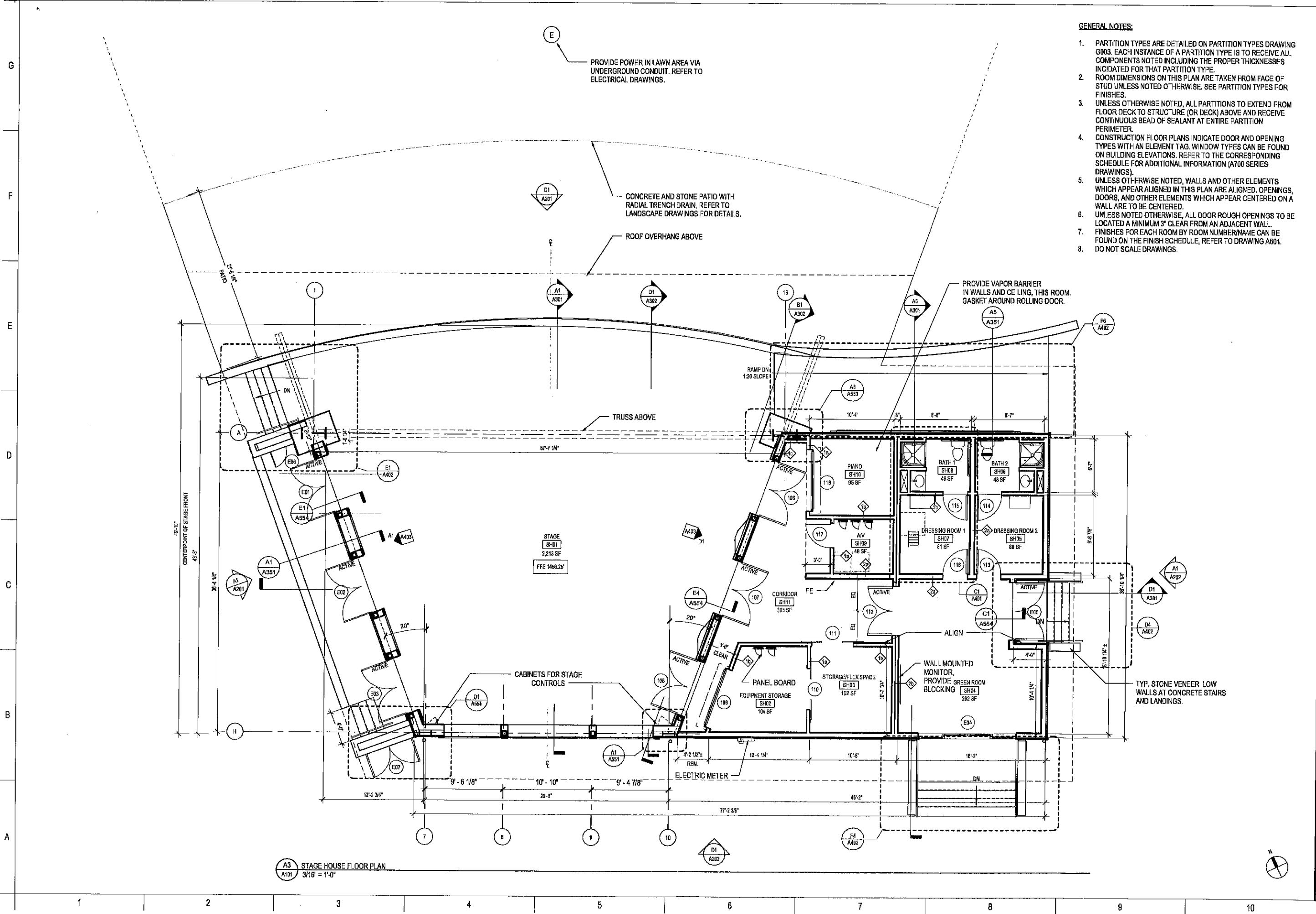


**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
CAROGA ARTS COLLECTIVE  
106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
**SITE PLANTING AND SOILS PLAN**

© COPYRIGHT 2022  
LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
ALL RIGHTS RESERVED AND UNAUTHORIZED DUPLICATION IS A VIOLATION OF ANY APPLICABLE LAW.  
REVISIONS

PROJECT NUMBER  
20-029.1a  
DATE  
JULY 22, 2022  
DRAWN BY  
TWMLA

GRANT SET  
**L401**  
7/11/2022 1:26:15 PM



- GENERAL NOTES:**
- PARTITION TYPES ARE DETAILED ON PARTITION TYPES DRAWING G003. EACH INSTANCE OF A PARTITION TYPE IS TO RECEIVE ALL COMPONENTS NOTED INCLUDING THE PROPER THICKNESSES INDICATED FOR THAT PARTITION TYPE.
  - ROOM DIMENSIONS ON THIS PLAN ARE TAKEN FROM FACE OF STUD UNLESS NOTED OTHERWISE. SEE PARTITION TYPES FOR FINISHES.
  - UNLESS OTHERWISE NOTED, ALL PARTITIONS TO EXTEND FROM FLOOR DECK TO STRUCTURE (OR DECK) ABOVE AND RECEIVE CONTINUOUS BEAD OF SEALANT AT ENTIRE PARTITION PERIMETER.
  - CONSTRUCTION FLOOR PLANS INDICATE DOOR AND OPENING TYPES WITH AN ELEMENT TAG. WINDOW TYPES CAN BE FOUND ON BUILDING ELEVATIONS. REFER TO THE CORRESPONDING SCHEDULE FOR ADDITIONAL INFORMATION (A700 SERIES DRAWINGS).
  - UNLESS OTHERWISE NOTED, WALLS AND OTHER ELEMENTS WHICH APPEAR ALIGNED IN THIS PLAN ARE ALIGNED. OPENINGS, DOORS, AND OTHER ELEMENTS WHICH APPEAR CENTERED ON A WALL ARE TO BE CENTERED.
  - UNLESS NOTED OTHERWISE, ALL DOOR ROUGH OPENINGS TO BE LOCATED A MINIMUM 3" CLEAR FROM AN ADJACENT WALL.
  - FINISHES FOR EACH ROOM BY ROOM NUMBER/NAME CAN BE FOUND ON THE FINISH SCHEDULE, REFER TO DRAWING A601.
  - DO NOT SCALE DRAWINGS.

Lacey Thaler Reilly Wilson  
 Architecture & Preservation, LLP  
 25 Monroe Street, Suite 202  
 Albany, NY 12210  
 518.375.1485  
 ltrw@arch.com

**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
 CAROGA ARTS COLLECTIVE  
 106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
**STAGE HOUSE FLOOR PLAN**

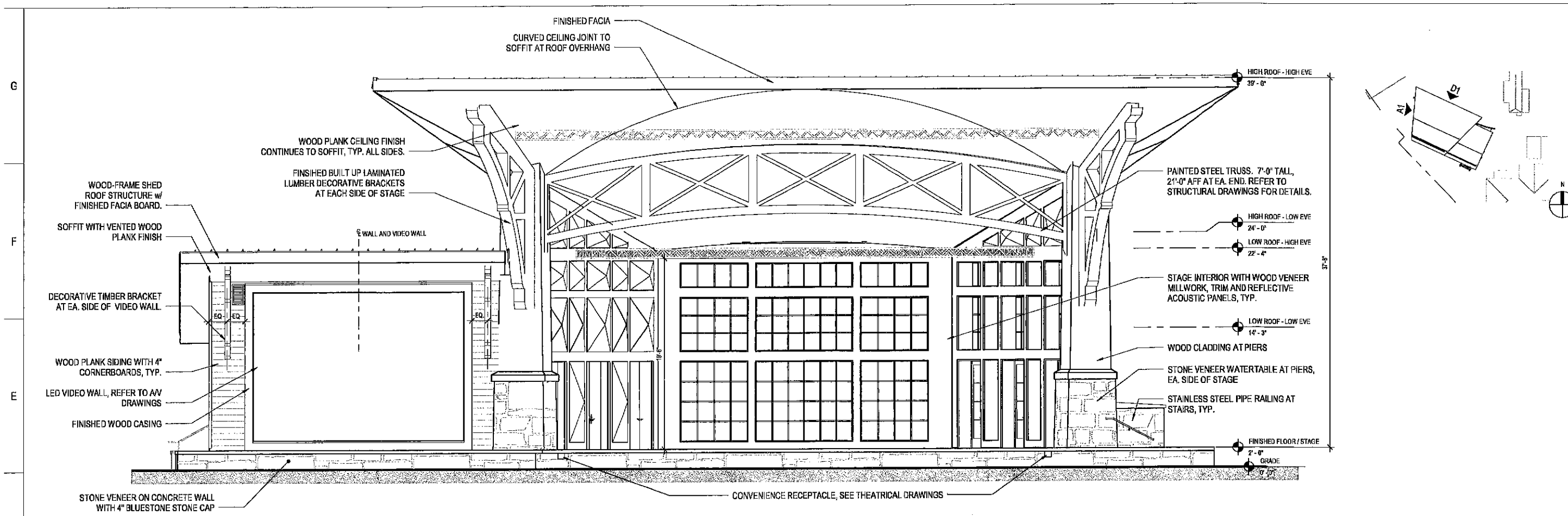
© COPYRIGHT 2021  
 LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
 ALL RIGHTS RESERVED AND UNAUTHORIZED REPRODUCTION IS A VIOLATION OF APPLICABLE LAW

NO.	REVISIONS

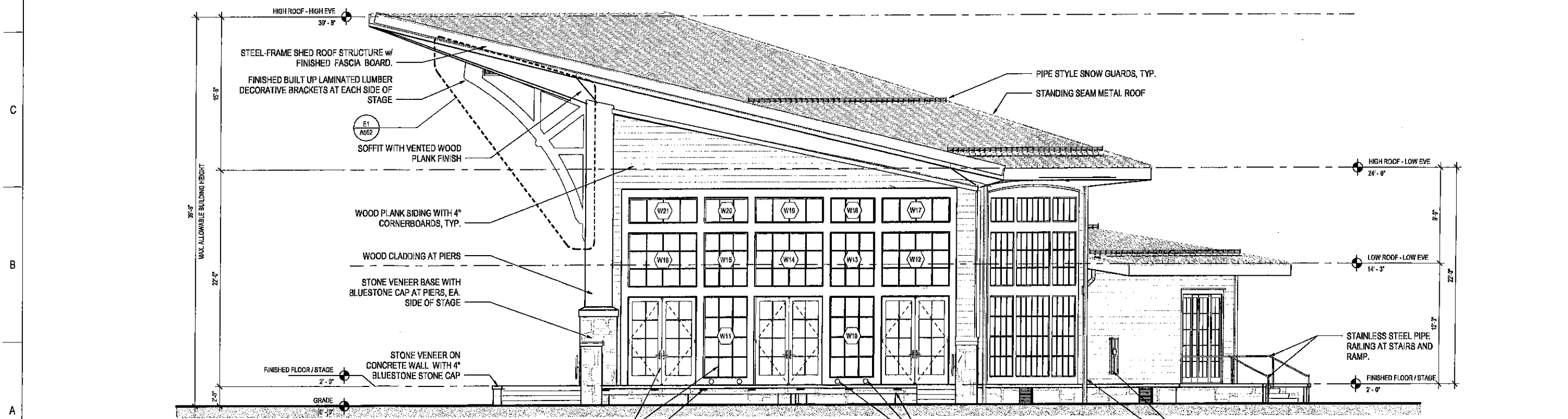
PROJECT NUMBER  
20-029.1a  
 DATE  
JULY 22, 2022  
 DRAWN BY  
SL

GRANT SET  
**A101**  
 7/27/2022 5:50:29 PM

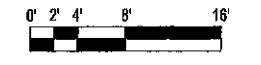
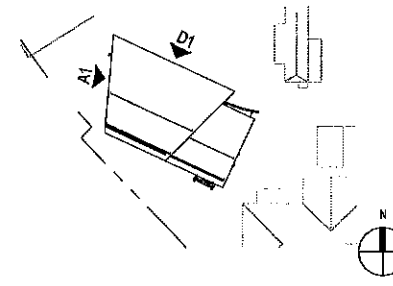
A3 STAGE HOUSE FLOOR PLAN  
 A101 3/16" = 1'-0"



D1 NORTH (AUDIENCE SIDE) ELEVATION  
3/16" = 1'-0"



A1 WEST ELEVATION  
3/16" = 1'-0"



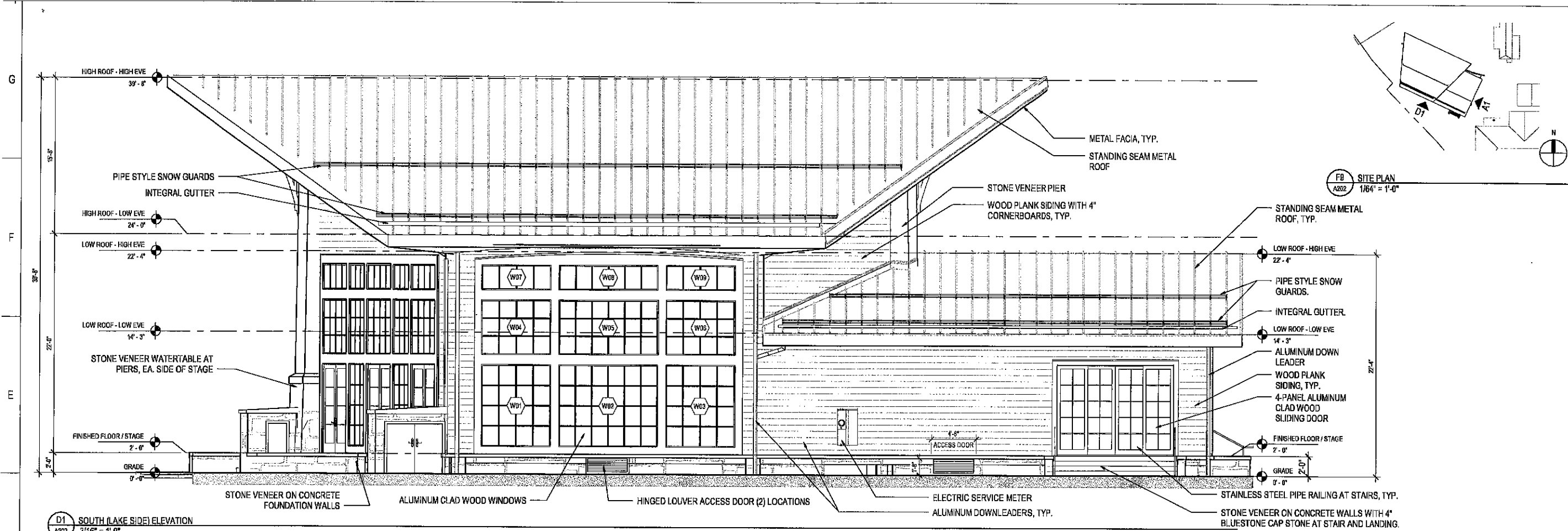
**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
CAROGA ARTS COLLECTIVE  
106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
**NORTH AND WEST ELEVATIONS**

Lacey Thaler Reilly Wilson  
Architecture & Preservation, LLP  
25 Monroe Street, Suite 202  
Albany, NY 12210  
518.375.1485  
ltyw-arch.com

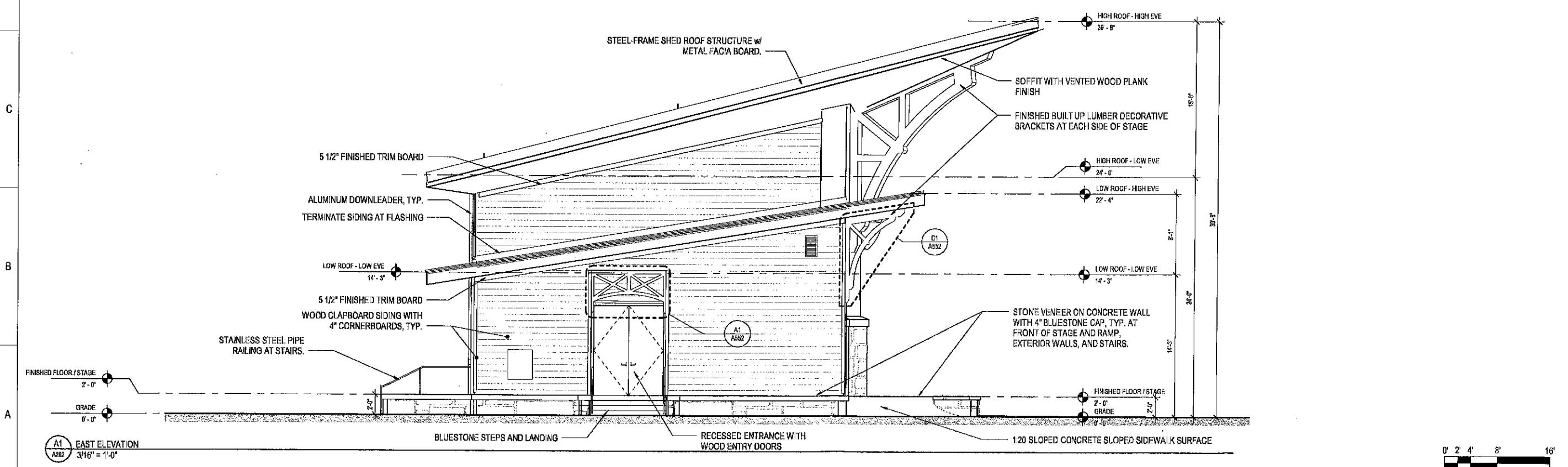
© COPYRIGHT 2022  
LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
ALL RIGHTS RESERVED AND UNAUTHORIZED  
CIRCULATION IS PROHIBITED OR APPLICABLE LAWS  
REVISIONS

PROJECT NUMBER 20-028.1a	DATE JULY 22, 2022
DRAWN BY SL	
GRANT SET	
<b>A201</b>	

7/27/2022 5:58:45 PM



D1 SOUTH (LAKE SIDE) ELEVATION  
A202 3/16" = 1'-0"



A1 EAST ELEVATION  
A202 3/16" = 1'-0"

**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
CAROGA ARTS COLLECTIVE  
106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
**SOUTH AND EAST ELEVATIONS**

Lacey Thaler Reilly Wilson  
Architecture & Preservation, LLP  
25 Monroe Street, Suite 202  
Albany, NY 12210  
518.375.1485  
ltrw-arch.com

© COPYRIGHT 2022  
LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
ALL RIGHTS RESERVED AND UNAUTHORIZED  
DUPLICATION IS A VIOLATION OF APPLICABLE LAWS

REVISIONS	

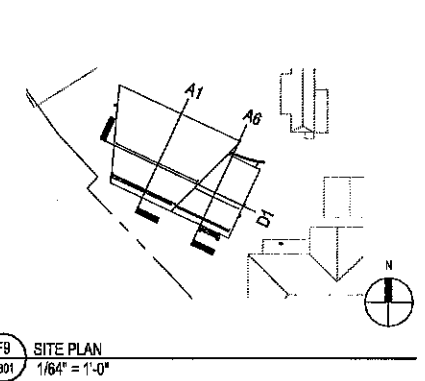
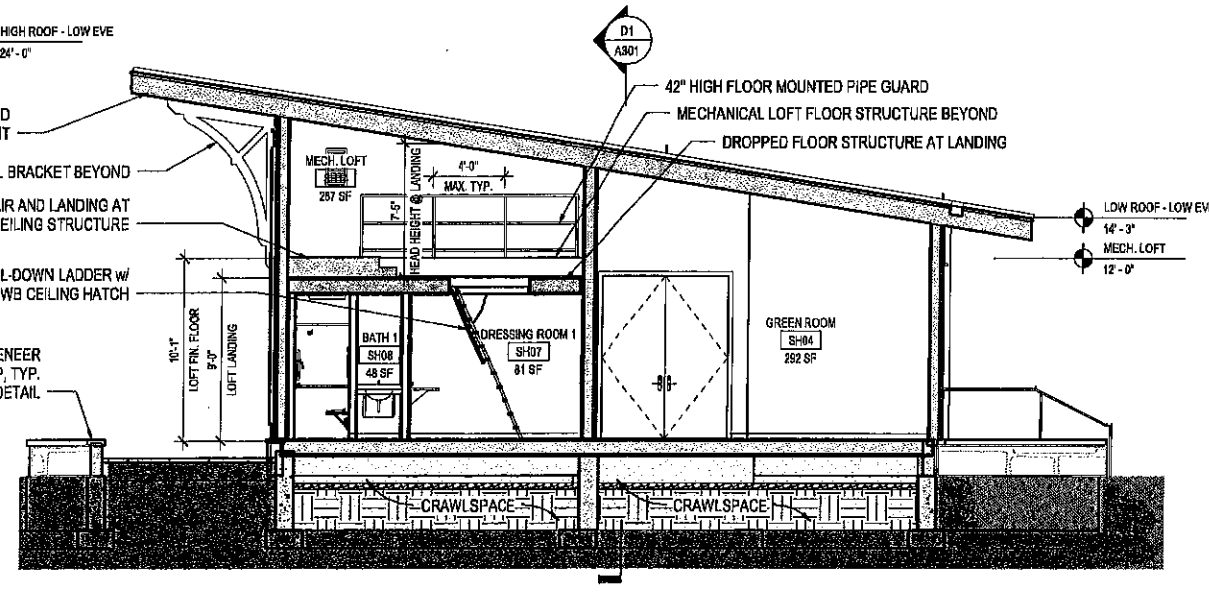
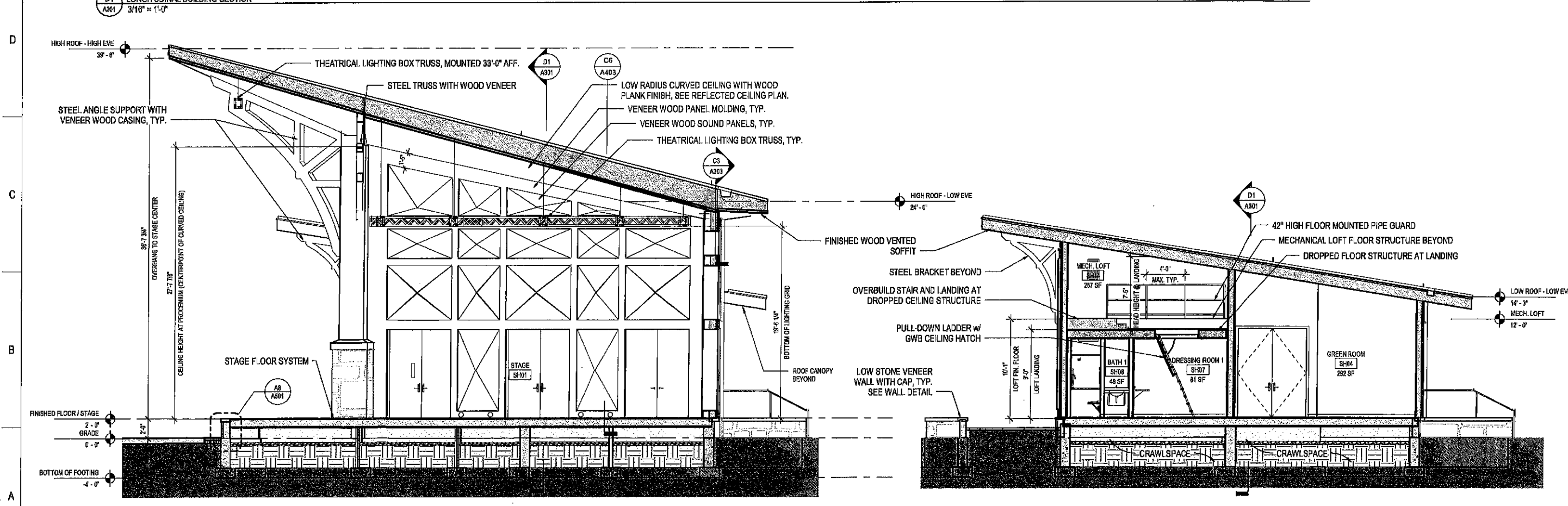
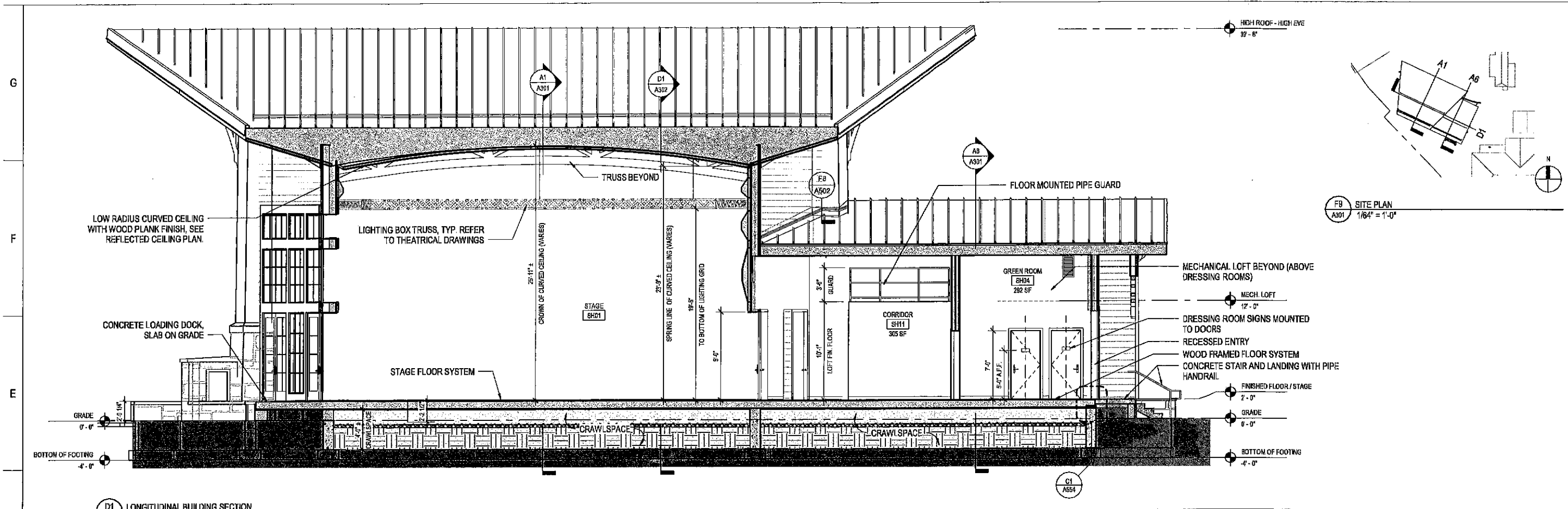
PROJECT NUMBER  
20-029.1a

DATE  
JULY 22, 2022

DRAWN BY  
SL

GRANT SET  
**A202**

7/27/2022 3:50:49 PM



Lacey Thaler Reilly Wilson  
Architecture & Preservation, LLP  
25 Monroe Street, Suite 202  
Albany, NY 12210  
518.375.1485  
lrw-arch.com

**CAROGA ARTS PHASE 1a - STAGE HOUSE**  
CAROGA ARTS COLLECTIVE  
106 CAROGA LAKE SHORE RD, CAROGA LAKE NY 12032  
BUILDING SECTION

© COPYRIGHT 2022  
LACEY THALER REILLY WILSON ARCHITECTURE & PRESERVATION, LLP  
ALL RIGHTS RESERVED AND UNAUTHORIZED REPRODUCTION IS STRICTLY PROHIBITED EXCEPT AS MAY BE OTHERWISE INDICATED

REVISIONS	

PROJECT NUMBER  
20-029.1a

DATE  
JULY 22, 2022

DRAWN BY  
SL

GRANT SET

**A301**

7/27/2022 6:00:14 PM

MASTER PLAN |



## 9. PHASING AND IMPLEMENTATION

### *Project Phasing*

The master plan, which will ultimately include development of the Schine/MyHil property and the Sherman's property, has been broken into phasing in order to gather funding over a multi-year timeline. Phasing may be altered as appropriate. The below breakdown details the proposed phasing for the Sherman's master plan development.

---

### *My Hill development - Phase 1*

- Carriage House - 2022 6 bed 4 bath artist residence, admin offices

### **Sherman's site - Phase 1a**

- Stage house construction
- Move Ferris wheel part way
- Electrical and plumbing infrastructure
- Modify landscape and hardscape
- Rebuild bridge over tributary creek

### **Sherman's site - Phase 1b**

- Sound Wall

### **Sherman's site - Phase 2a**

- Main Building stabilization
- Main Building new section renovation
- Septic repairs/upgrades
- Docks

### **Sherman's site - Phase 2b**

- Complete Main Building renovations
- Address snack stand - relocation or removal
- Build connection between main building and stage house
- Boardwalk from Caroga Lake Drive to Bumper Car pavilion

### *My Hill development - Phase 2*

- Artist residences - residency program
- Lodge - art education, dining

### **Sherman's site - Phase 3**

- Arc construction - first phase (open at center)
- Relocation and adaptive reuse of rest room building

### **Sherman's site - Phase 4**

- Develop boardwalk from bumper car pavilion to NY-10
- Playground
- Relocation/repair of bumper car pavilion

### **Sherman's site - Phase 5a**

- Parking lot and roadway development
- Ferris wheel final location
- Repairs to pavilion

### **Sherman's site - Phase 5b**

- Carousel restoration
- Attendant booth restoration

### **Sherman's site - Phase 6 (Phase 6 could be part of Phase 3)**

- Develop tiered seating
- Arc construction - Phase 2 (infill of center, storage below upper tiers of seats)





**Phase 1a**

*Prepare site for new use with repairs and updates to site infrastructure. This includes electrical service upgrades, testing and repairs to the well and septic, and required modifications to plumbing to return to use. Modify the hardscape and remove growth to create a clear lawn for audience. Relocate the Ferris wheel from the center of the lawn to a temporary location, near the ticket/attendant booth. Rebuild the small bridge over the Mead Creek tributary, currently a safety hazard. Ensure site spaces are in safe condition for public entry. Repair asphalt and remove portions to open lawn space. Build new stage house.*

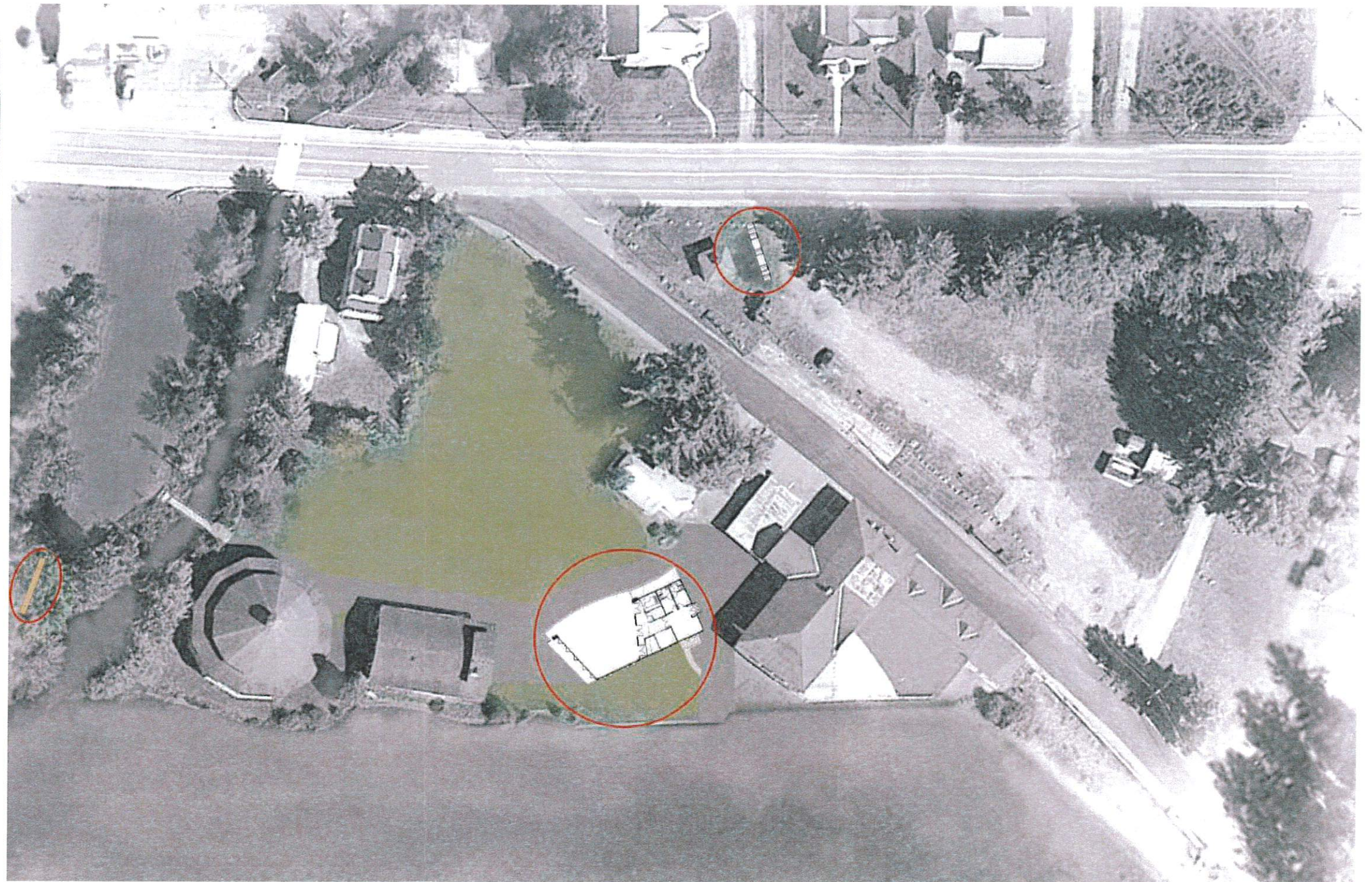
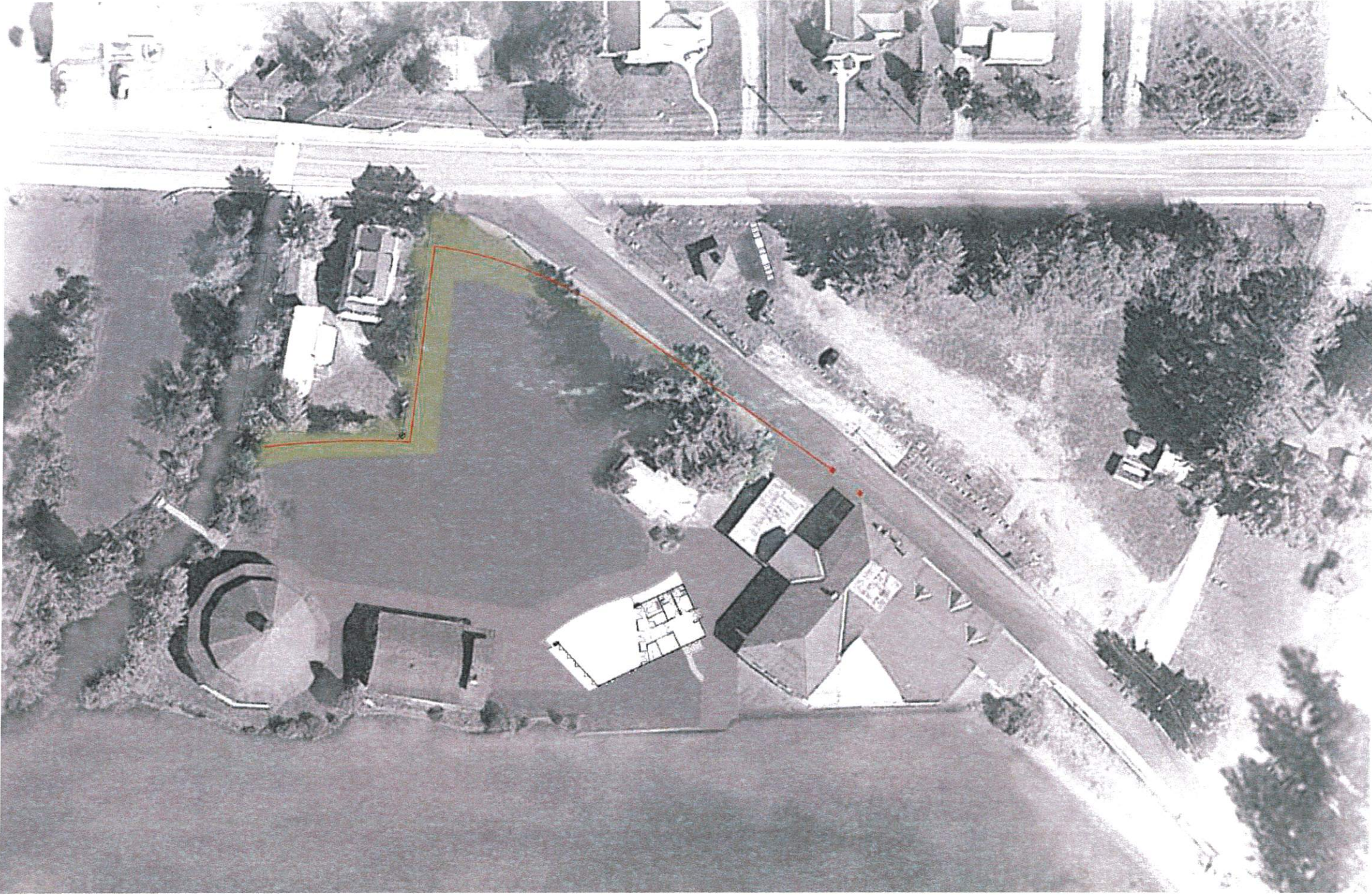


Fig. 94 – Phase 1a rendered plan



**Phase 1b**

*Remove overgrowth and bury electrical service on site, removing two telephone poles minimum. Install sound wall to wrap neighboring single-family house parcel and Caroga Lake Shore Rd. Provide entry gate with signage.*



*Fig. 95 – Phase 1b rendered plan*



Phase 2a

*Stabilize the floor structure and other required structural elements in the original portion of the Main Building (North side). Upgrade the septic system as required to support the restaurant/bar space. Fully renovate the banquet hall portion of the main building into a restaurant space. Make necessary repairs to the existing commercial kitchen for operation. Remove the changing/bath house extension from the South wall entirely, and provide patio space for restaurant entry and walkway connection at the south. Install docks on temporary connection back to the shore. Repair existing patio surface for outdoor dining area along the lake shore.*

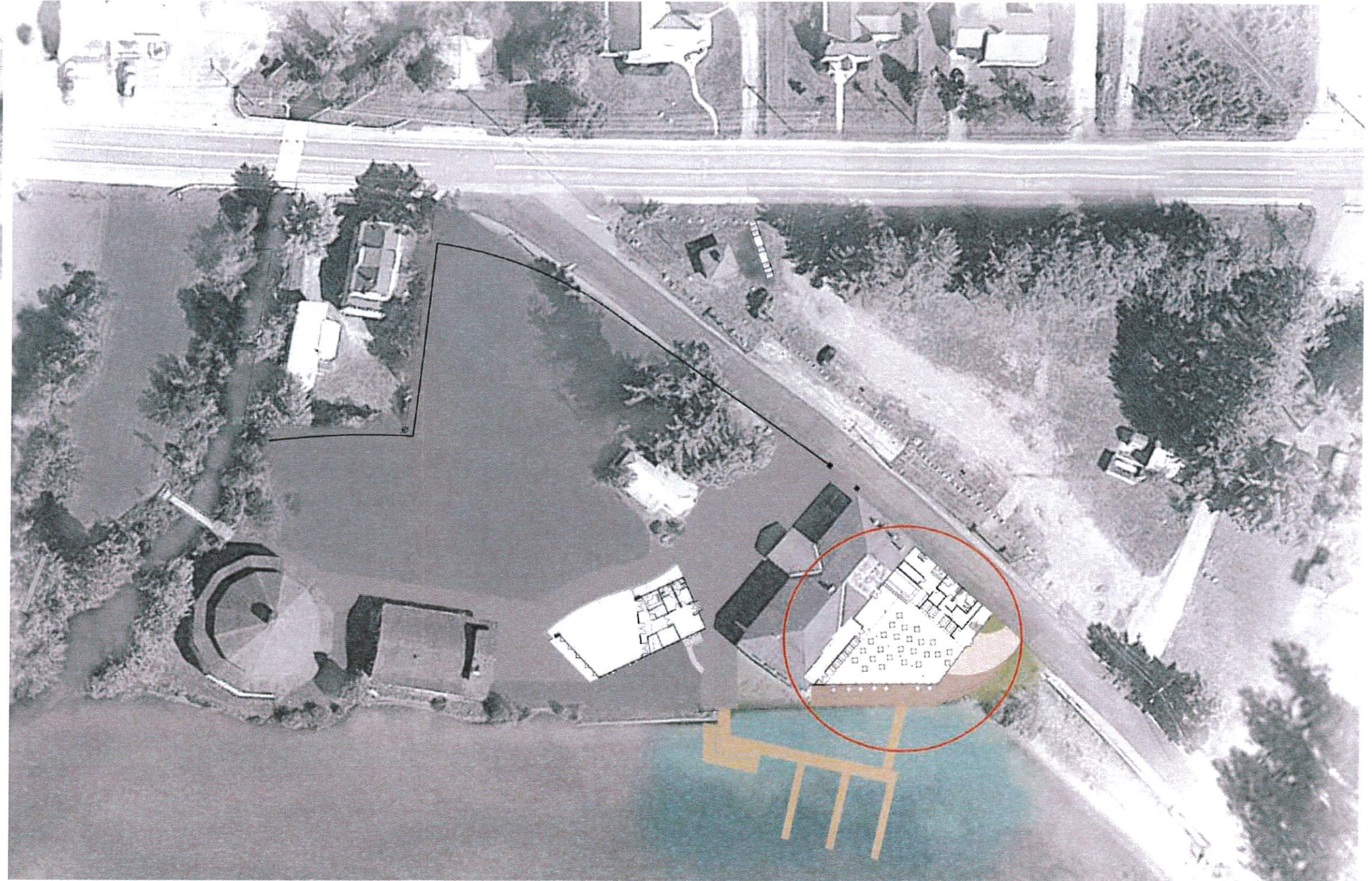


Fig. 96 – Phase 2a rendered plan



### Phase 2b

Fully renovate the North portion of the Main Building. Remove extensions from the North façade and complete restoration/renovations of the second floor jazz club and porch. Complete all exterior work surrounding the main building excluding work along the roadway. Complete boardwalk to the bumper car pavilion. Repair bulkhead as required and create permanent connections for the docks. Modify hardscape/landscape for plaza between main building and stage house. Build roofed connection between buildings. Remove garage and other structures from parking area to create more parking space.

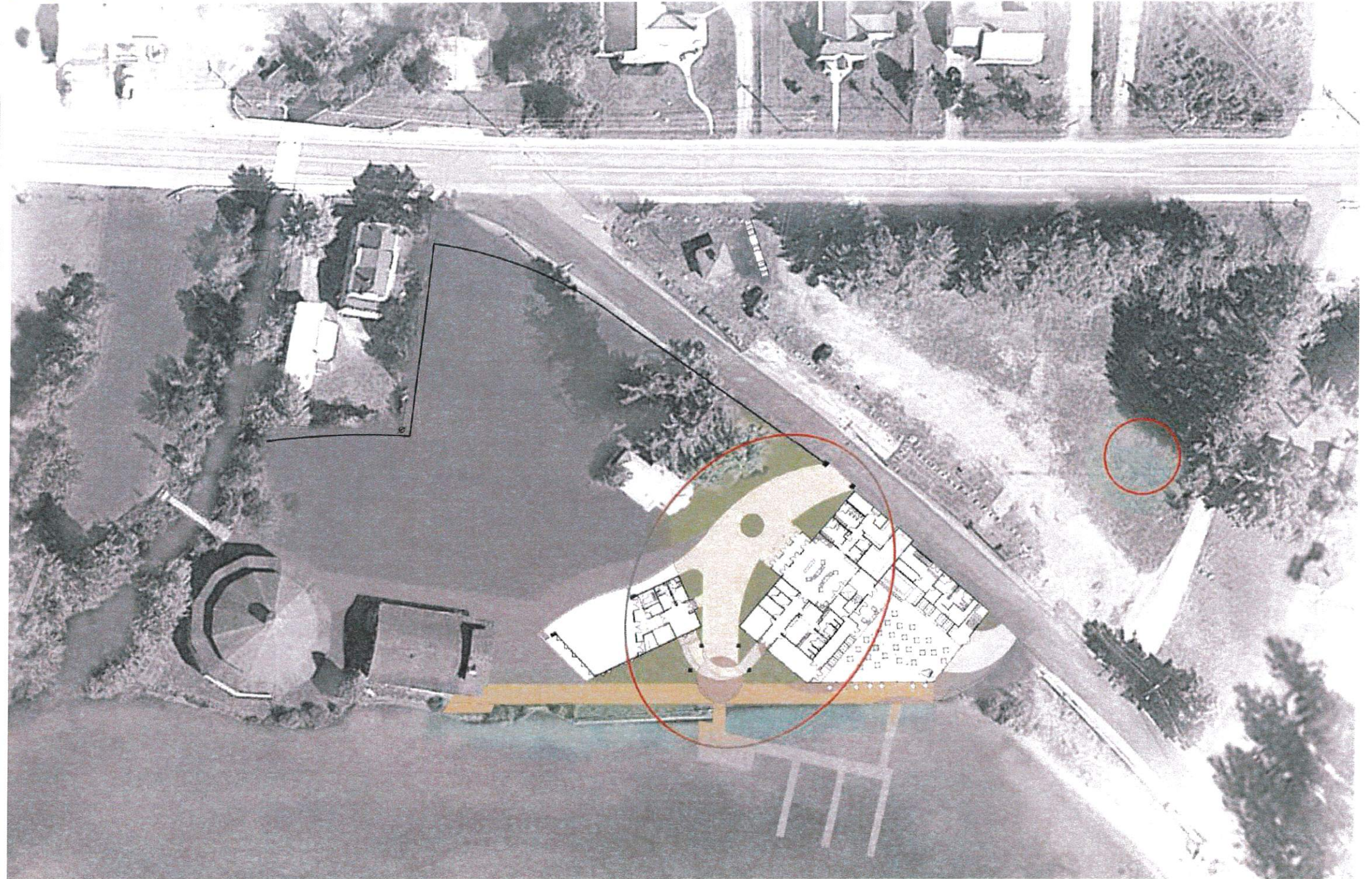


Fig. 97- Phase 2b rendered plan



### Phase 3

*Relocate restroom building, stabilize as required, and renovate to office space and storage building. Construct arcade structure, first phase (open at center, covered patio). Provide required surge tanks and septic expansion. Provide accessible paved pathways to the arcade structure. Maintain as many large white pines as possible during arcade construction. Install temporary plantings at stage-facing side of arcade for sound absorption.*

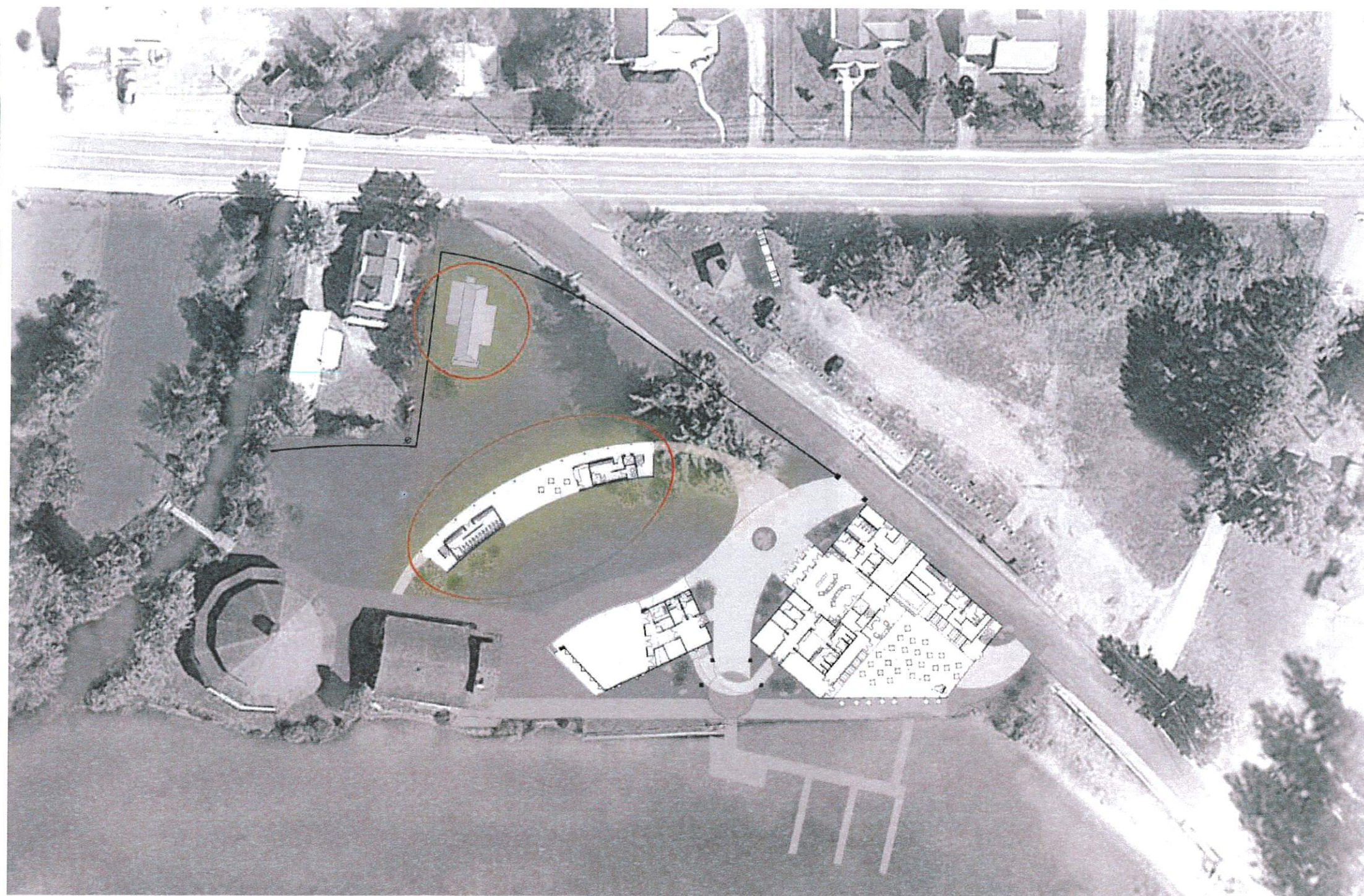


Fig. 98 – Phase 3 rendered plan



**Phase 4**

*Relocate, stabilize, and modify the bumper car pavilion to across Mead Creek and install on new foundation. Create universal playground and sensory garden across Mead Creek in front of pavilion. Complete boardwalk and path back to NY Route 10. Construct new exterior ticket booth structure near main entry gate. Install raised planting beds and decking along sound wall. Provide required landscaping along boardwalk elements and north park space.*



Fig. 99- Phase 4 rendered plan



Phase 5

Construct pavilion prep kitchen, restrooms, and storage room to partially enclose open-air structure. Reconfigure entrance to Caroga Lake Shore Rd from NY Route 10. Relocate Ferris wheel to its final location, complete restoration and modifications. Complete parking lot improvements. Maintain a portion of white pines at South side, along Bath Ave. Widen Bath Avenue to provide diagonal parking and bus parking spaces. Complete hardscape/landscape improvements at roadway entrance. Install new sidewalks and crosswalks at public right-of-ways. Provide dumpster enclosure and loading areaway with retaining wall along main building.

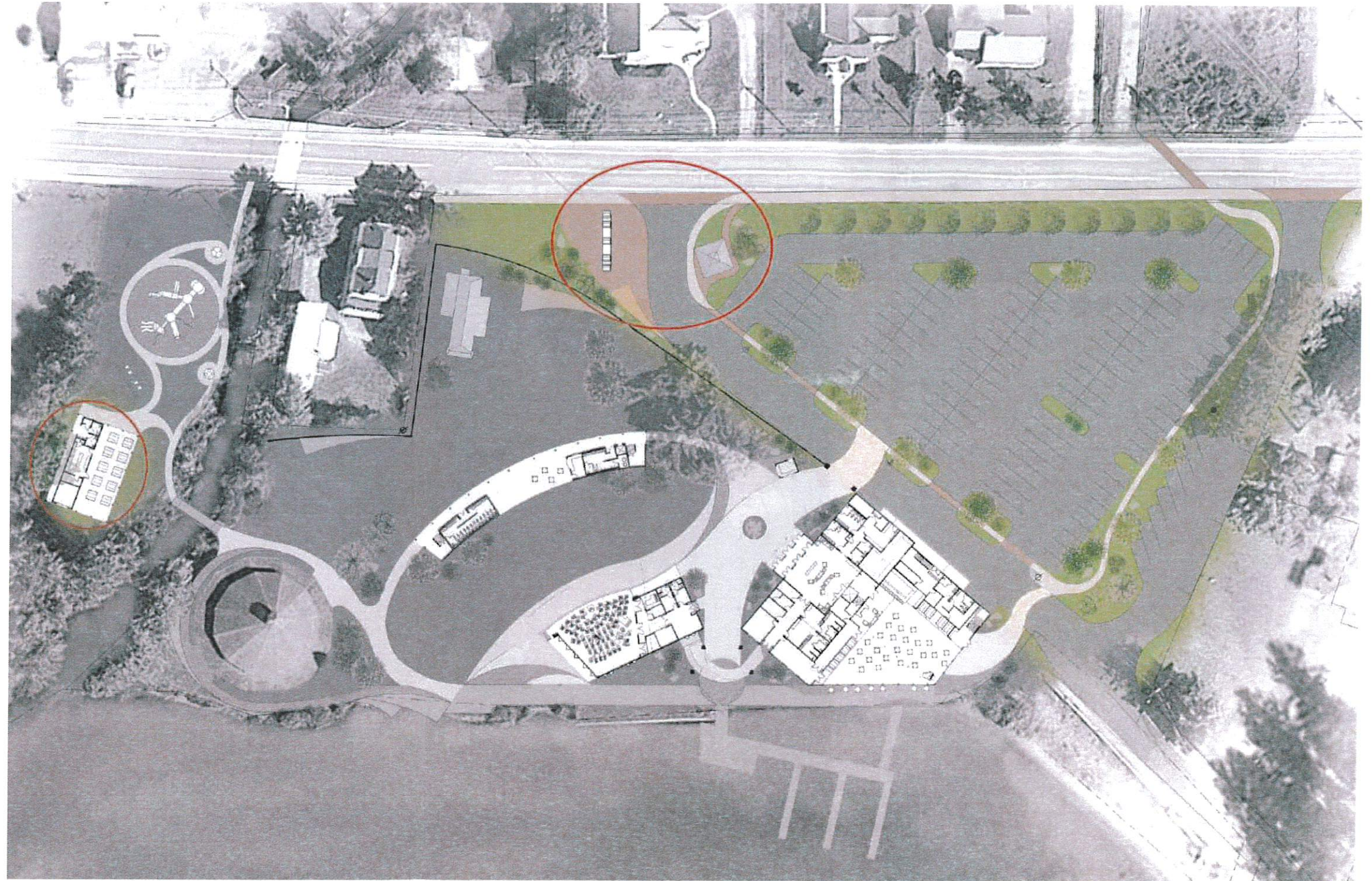


Fig. 100 – Phase 5 rendered plan



Phase 6

Develop tiered audience seating structure. Hardscape and fill at sides of seating to create natural hill with native landscaping. Install sound panels and A/V equipment as required in audience space. Infill center of arcade at ground level with expanded concessions, storage area, and gift shop space. Install tiered seats at the arcade balcony.

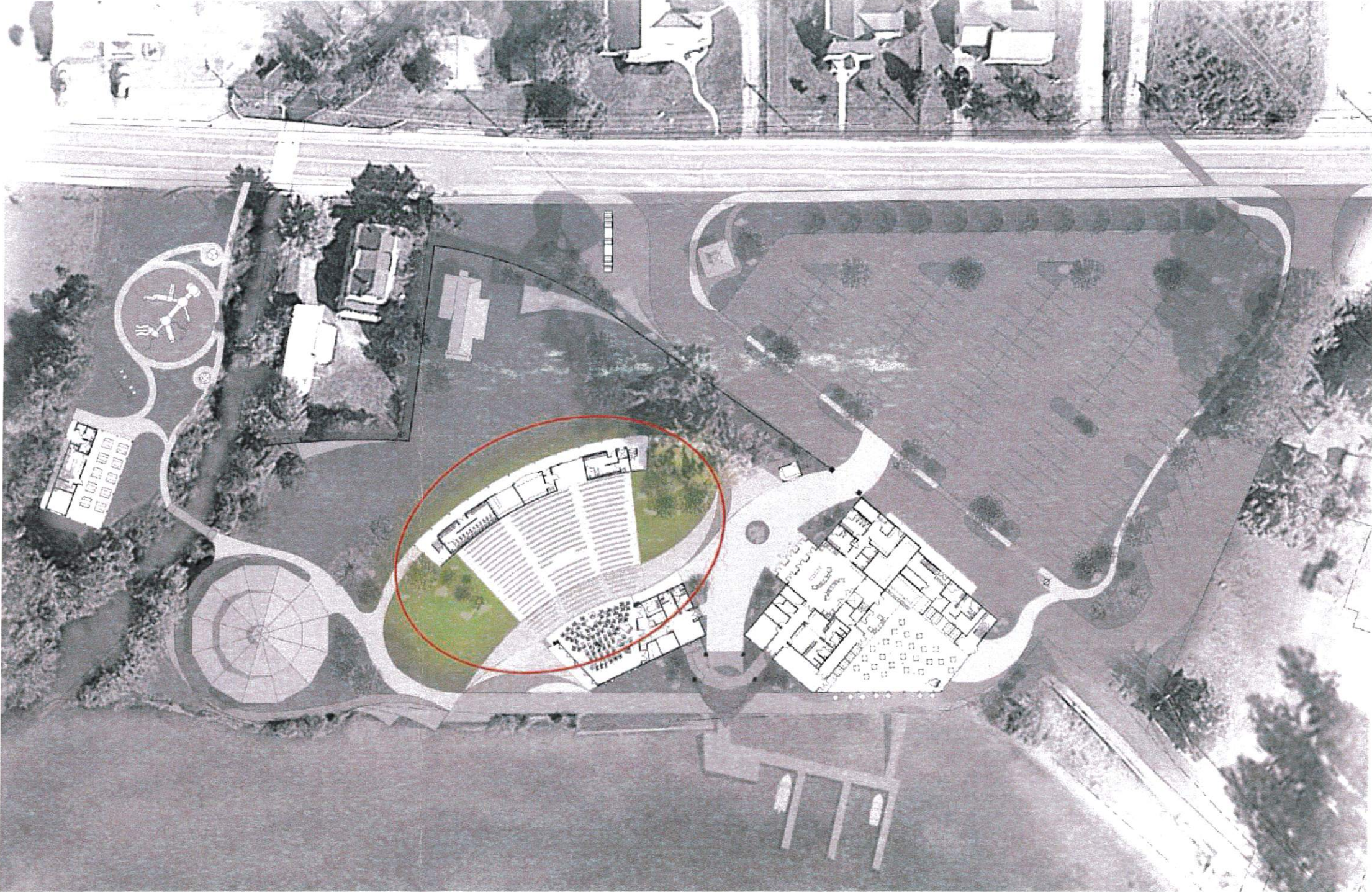


Fig. 101 – Phase 6 rendered plan

