

GENERAL NOTES

These plans were designed to conform to the latest edition of the International Residential Code for One and Two Family Dwellings (exclusive of seismic and high wind regulations). Due to continuous changes in both local and national building codes, accommodating all building restrictions is impossible. Therefore, these plans are subject to local requirements and interpretations. If these plans are not signed and sealed by a registered architect, it becomes the responsibility of the user to make certain these plans comply with local code requirements. In the event of a conflict between specifications contained in this set of plans and applicable codes or regulations in your area, the more stringent provision shall apply and be followed during construction. Variations required by local building officials shall not be binding on the designer, The Garlinghouse Co., Inc. The Garlinghouse Co., Inc. is not responsible for the availability of any suggested manufactured products specified on these plans or material lists.

BUILDER QUALIFICATIONS & CONSTRUCTION STANDARDS

These plans are intended for use only by persons knowledgeable in and familiar with generally accepted methods, techniques and industry standards for construction, and who are familiar with all applicable codes and other regulations that govern the construction of this type of structure. All construction is to be performed in accordance with these regulations and standards. If no building code ordinance has been locally adopted, then the International Residential Code should be used. The Garlinghouse Company Inc. cannot be responsible for any construction methods or procedures followed that are not specified or called out specifically in these plans and specifications.

DIMENSIONS

Written dimensions shall take precedence over scaled dimensions. (DO NOT SCALE DRAWINGS).

ERRORS AND OMISSIONS

Every effort has been made to insure that these plans are accurate and drawn to reflect all current national standards for safe and proper building practices. Any errors or omissions found should be reported to the Technical Services Department of the Garlinghouse Company. In addition to insuring that errors will be corrected for future purchasers, replacement copies of the plans will be provided to you free of charge once corrections are made.

DESIGN LOADS

These plans were designed to meet the external load conditions noted below. However, design load specifications (especially for roofs) vary from region to region due to local codes and geographic conditions. If these plans are not signed and sealed by an architect, then user must consult with local building code officials to determine if these design load specifications are adequate. If the design loads do not meet local requirements, it becomes the user's responsibility to have these plans altered the user's responsibility to have these plans altered to conform to such requirements.

	Dead Loads	Live Loads
Roof, with Shakes or Composition Shingles	10 psf	As required by regional IRC live load conditions & designed into trusses by truss manufacturer
First Floor	10 psf	40 psf
Second Floor	10 psf	30 psf
Decks and Balconies	10 psf	40 psf
Ceiling	10 psf	20 psf

(Space above ceilings where limited storage is possible, but additional room construction is not)

INSULATION & WEATHER SEALING

Caulking or gasketing is to be applied to all exterior sills, plates, and envelope penetrations (between windows, door frames, and rough openings). Unless inconsistent with local code requirements, insulation with the following "R" values is to be installed with vapor barrier facing towards the heated space.

Ceiling Insulation (attic space above)	R-30 Min.
Ceiling Insulation (combination rafter-joints)	R-30
Exterior Walls	2x4 construction R-13 Min. 2x6 construction R-21
Floors Over Unheated Crawl Spaces or Unheated Basements	R-21 Min.
Ducts In Unheated Spaces	R-4.2
Cantilevered Floors & Floors Over Garages	R-30

FOUNDATIONS

- Footings shall bear on firm, undisturbed soil a minimum of 24" below the final finished grade line for one and two story structures. However, should the frost line be locally deeper than 24", then the bottom of footings shall extend below this local frost line. Where sloping grades are involved, footing depths must always be measured from the point at the final finished grade line that is closest to the footing.
- To ensure proper support for the footings and foundation walls, footings must always be poured with a flat bottom surface. Footings may be stepped where necessary to allow the footing to remain below frostline on a sloping grade, but the structure may not be built on a site where the finished grade line exceeds thirty degrees down from level. Sloping sites require special engineering for extended foundation walls and stepped footings.
- A minimum 2000 psf soil bearing is required.
- Drains shall be provided around all usable spaces located below ground. Drain tiles, perforated pipe, or other methods approved by local codes should be installed at or below the area to be protected, and must discharge by gravity or mechanical means to a drainage system. Top of drain pipe shall be level with top of footing.
- Apply bituminous foundation coating on all exterior walls below grade, and damp proofing on all exposed surfaces of concrete walls above grade and on all slabs not covered by finish materials. It is the responsibility of the foundation contractor to waterproof the foundation walls with the appropriate materials for local conditions.

CONCRETE

- All concrete for walls, footings, and basement slabs shall develop and maintain a minimum compressive strength of 2500 psi at 28 days.
- All concrete for garage slabs and porches shall develop and maintain a minimum compressive strength of 3500 psi at 28 day strength.
- Concrete forms, shoring and pouring methods shall conform to all current practices endorsed by the American Concrete Institution.
- Backfill shall not be placed against basement walls until:
 - Concrete or masonry grout has reached its 28-day strength, and
 - Structural floor framing (including sub-floor) required to stabilize walls is complete, fully nailed and anchored, and
 - Walls have been properly shored.

FRAMING NOTES

The following is a list of procedures to accompany standard building practices and should be followed during the framing of the structure:

- All frame walls shall have stud framing placed at 16" o.c., except where noted otherwise.
- Top plates shall be doubled on all walls except where noted otherwise.
- Jack studs under all headers shall be continuous to sole plate.
- Double joists under all walls parallel to joists except where noted otherwise; also under kitchen cabinets and bath tubs parallel with joists.
- Block all stud walls as required for sheathing
- Solid blocking between all joists and rafters at supporting walls and beams except at rim joists.
- Double rim joists at all walls parallel to joists.
- Beams, girders, and joists supporting bearing walls or concentrated loads shall not be notched or drilled with holes larger than 1" in diameter.
- All rafters shall be notched to provide full bearing at supports.
- The ends of all joists shall bear on not less than 1 1/2" on wood or metal and not less than 3" on masonry. The ends of all beams or girders shall bear on not less than 3".
- Lap all joists 3" minimum (24" maximum) at all interior bearing supports.
- Mud sills and ledger boards at concrete walls shall have anchor bolts of the size and spacing shown on the drawings. Each board shall be secured with at least two bolts and each board shall have a bolt within 12" of each end.
- Provide double framing at all roof and floor diaphragm penetrations, unless noted otherwise on plans.
- Contractor shall provide adequate bracing or otherwise support all portions of the structure until all members have been permanently joined together.
- All roof trusses shall be designed by a registered engineer for the truss manufacturer. Submit sealed truss engineering drawings to the local Building Department indicating bracing, etc., that may be required.
- All wood in permanent contact with concrete shall be pressure treated with a water borne preservative.
- Nails and all metal connectors in contact with PT wood shall be hot dipped galv. or stainless steel
- All mechanical holes through any structural member shall be at the center line of the member in compliance with the latest edition of the Wood Structural Design Data specifications.
- All slabs on grade shall be reinforced with 6x6 10/10 welded wire mesh.

WOOD FRAMING

All solid sawn lumber shall be a minimum #2 grade or better with a Fiber Stress In Bending factor (Fb) of 875 psi BASE VALUE and a Modulus of Elasticity (E) of 1,400,000 psi unless otherwise specified. All lumber shall have a moisture content of no more than 19%. Lumber shall be graded in accordance with the Western Wood Products Association and/or the Canadian Wood Council.

A. Post, Beams, & Headers	#2 or Better (or LVL)
B. Floor, Ceiling Joists, & Rafters	#2
C. Plates & Blocking	#2
D. Sill, Exterior Deck, & Balcony Components	Pressure Treated
E. Studs	Stud Grade
F. Roof & Wall Sheathing	1/2" C-D Plywood(32/16) with exterior glue or properly rated OSB
G. Sub-Floor over Joists	3/4" T & G Plywood
H. Gty-Lam Beams-A.I.T.C. Industrial Grade with dry use adhesive (wet use for exterior use)	Fb 2400 psi, E=1,100,000
I. Laminated Veneer Lumber (LVL)	Fb 2800 psi, E=2,000,000

WINDOW & DOOR REQUIREMENTS

- All windows are noted by window schedule in plan and elevation, with specific manufacturer selection by owner and/or contractor. Contractor must verify all required rough framing openings.
- Bedrooms and sleeping areas must have at least one window with a sill height of no more than 44" above the floor and which will meet local code egress requirements.
- All windows, patio doors, and doors with glass shall be double glazed, insulated units with wood or aluminum frame and sash.
- Exterior doors are to be foam-core insulated steel doors unless otherwise noted.
- All doors between garage and living areas shall be one hour fire rated assemblies with 1-3/4" solid wood core (or code approved equivalents) with self closing mechanism.

MISCELLANEOUS

- Plumbing diagrams or drawings shall be provided by the Plumbing contractor. Heating/cooling duct diagrams or drawings shall be provided by the Heating Ventilation and Air Conditioning contractor.
- Heat loss or energy use calculations shall be provided by the heating/cooling contractor or other professional as required by regulations.
- All fireplaces will be U.L. approved zero-clearance fireplaces with triple-wall metal flue, U.L. approved spark arrester chimney cap with galvanized rain cap. All fireplace openings shall be provided with tempered glass doors. Provide outside combustion air for fireplaces, wood stove, and liquid fuel heating appliances (per the "Chimneys and Fireplaces" chapter of the International Residential Code).
- Chimneys shall extend at least 2 feet higher than any portion of the building within a 10 foot radius, but shall not be less than 3 feet above the point where the chimney passes through the roof.
- Tile and bathtub enclosures are to have 1/2" water resistant gypsum board and a hard, moisture resistant surface up to 6'-0" (min) above the floor.
- All exhaust fans and dryers shall vent to the outside through ducts. Caulk around all penetrations through exterior envelope.
- Provide 5/8" type "X" fire rated, gypsum board between garage and living areas including garage ceilings where living areas are above.
- Owner is responsible for site location of all foundation and slab penetrations (i.e. sewer, water, underground power conduit stub-up).
- Stair treads and risers shall not exceed the code required maximum and/or minimum dimensions.
- All stairs with 4 or more risers must have code compliant handrail.
- A vapor-permeable air infiltration barrier is to be installed between the wall sheathing and siding.
- Prior to starting construction, the user of these plans must verify the availability of all manufactured products suggested or specified, herein.
- All manufactured articles, materials, and equipment shall be applied, installed, connected, erected, used, cleaned, etc., in accordance with the manufacturer's written instructions
- Structure is designed to carry the load of composition roof shingles or shakes. Should substantially heavier roof materials be contemplated, then the structure will need to be redesigned accordingly.
- All glass within 12" of a door and/or 18" of the floor or a hallway shall have tempered glazing.
- The contractor is responsible for providing adequate temporary bracing or to otherwise support all portions of the structure until all members have been permanently fastened together and permanently braced.

STRUCTURAL & MISCELLANEOUS METAL

Structural shapes, bars, and plates shall be steel meeting American Society for Testing & Materials (ASTM) standard A36. Pipe columns, where shown on plans, shall be standard weight meeting ASTM A53, type 5, Grade B. Design and fabrication shall conform to the latest edition of American Institute of Steel Construction (AISC) specifications. Exposed welds shall be ground smooth and flush. Reinforcement shall be bent cold and shall not be welded. All items except those to be encased with cast-in-place concrete shall be shop painted with rust primer. Erection shall conform to AISC specifications.

CONNECTORS & FASTENERS

- All nailing and fastening shall comply with the IRC's table "Fastener Schedule for Structural Members."
- All flush beams and girders shall use joist hangers to support abutting joists and rafters.
- To comply with the IRC wall bracing requirements, all exterior wall sheathing shall be fastened with 8d common nails at 4" O.C. along panel edges and max 12" O.C. field of panels.

FLASHING

Install flashing and counter-flashing of 26-gauge galvanized metal or aluminum wherever dissimilar building materials join or intersect at the roof of the structure. This includes all intersections of the roof with vertical walls, chimneys, and dormers, and as otherwise shown on the drawings. Flashing must also be installed above windows and doors, and at all horizontal joints in sheet siding.

GUTTERS

All gutters shall be made of aluminum or as otherwise shown on drawings. Gutters should be secured a minimum of every 4'-0" with approved fasteners.

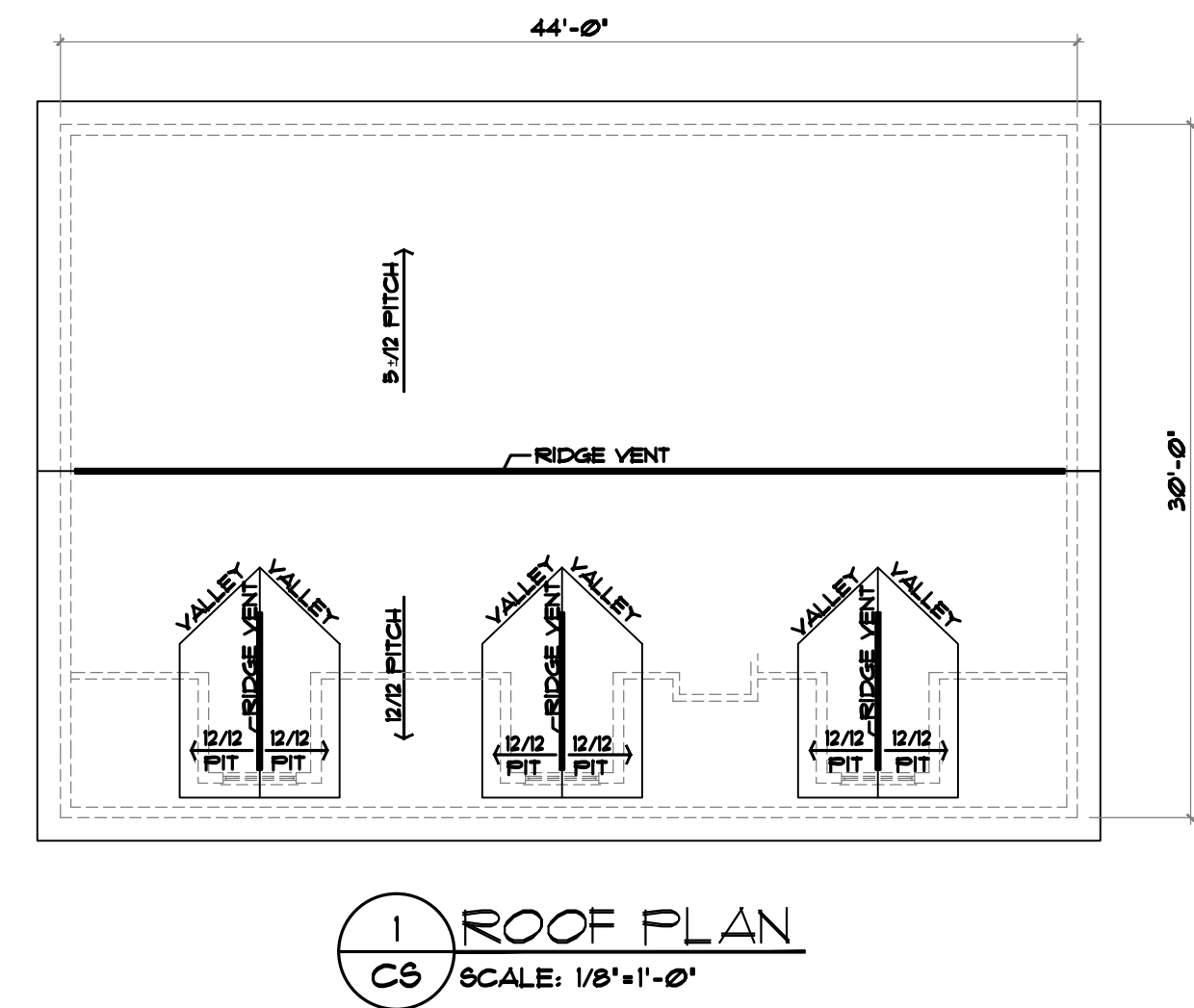
ABBREVIATIONS

AFF	above finish floor architect (ural)	JST	joist
ARCH		LAM	laminated (d)
BASMT	basement	LL	Live Load
BRG	bearing board	LVL	Laminated Veneer Lumber
BD	board	MFG	manufacturer
BLDG	building	MAX	maximum
BM	beam	MECH	mechanical
BOT.	bottom	MIN	minimum
CAB	cabinets	MT	metal threshold
CL6	ceiling	NO	number
CTR	"center, centered"	O.C.	o.c.
CC	center to center	OPT	on center optional
CLR	clear (ance)	psi	pounds per square inch
CONC	concrete	psf	pounds per square foot
CONSTR	construction	QTY	quantity
CONT	continuous	REGD	required
d	penny (nail size)	R.O.	required rough opening
DL	Dead Load	S.C.	solid core
DIAM	diameter	SQ	square
DRNG	drawing	STD	standard
EN	each way	STOR	storage
ELEC	electric (al)	T&G	tongue & groove
ELEV	elevation	TYP	typical
EXT	exterior	UNO	unless noted otherwise
FIN	finished	VERT	vertical
FLR	floor	W C	water closet
FD	floor drain	W	w/
FT6	footing	WHM	with welded wire mesh
FDN	foundation	WD	weld
GA	gauge		
GWB	gypsum wall board		
HDR	header		
HORIZ	horizontal		
HB	hose bib		
INT	interior		

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A2	ROOF FRAMING PLANS - DETAILS
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTIONS
A5	WALL SECTIONS - DETAILS
A6	STAIR SECTION - DETAILS
A7	DETAILS
E1	ELECTRICAL PLANS - NOTES - LEGEND

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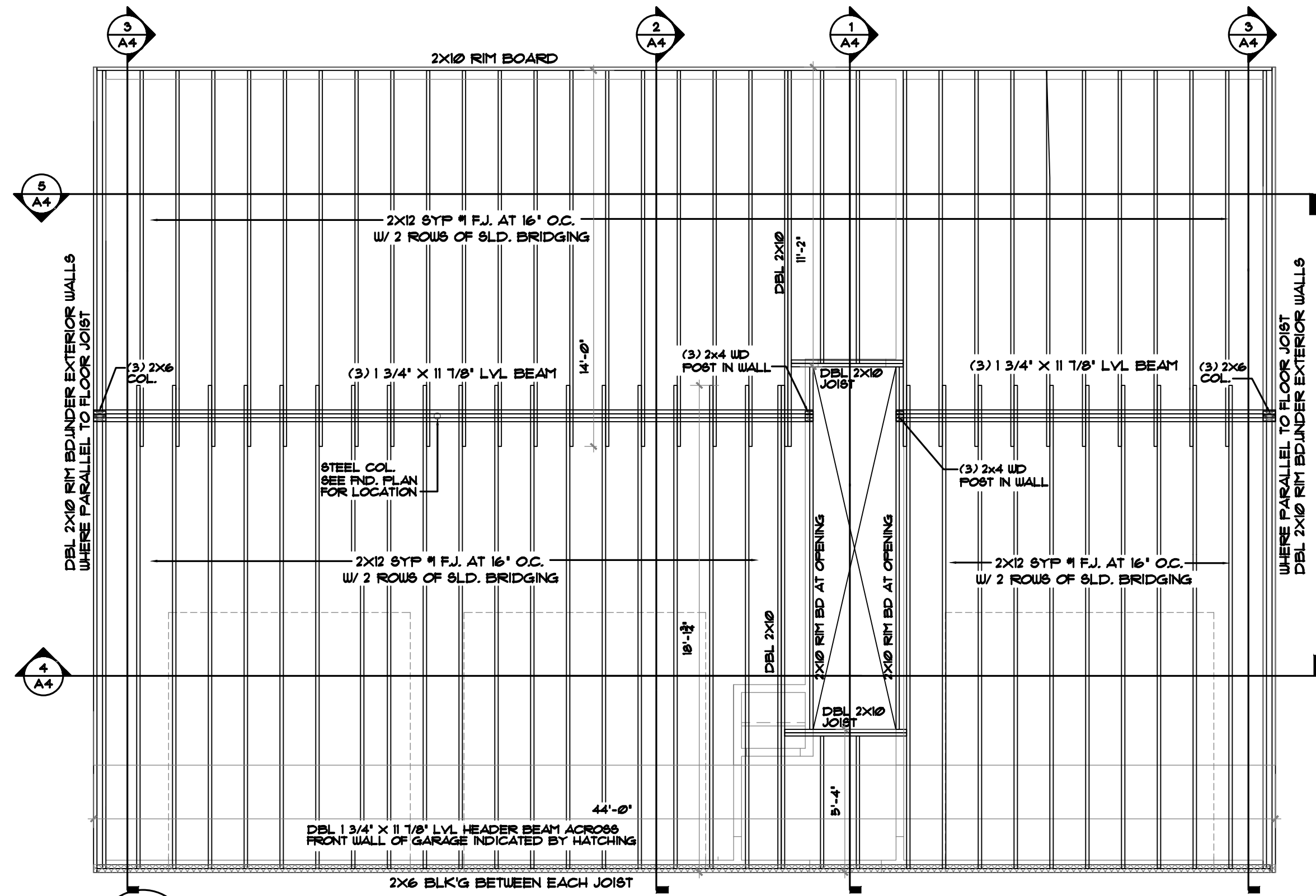
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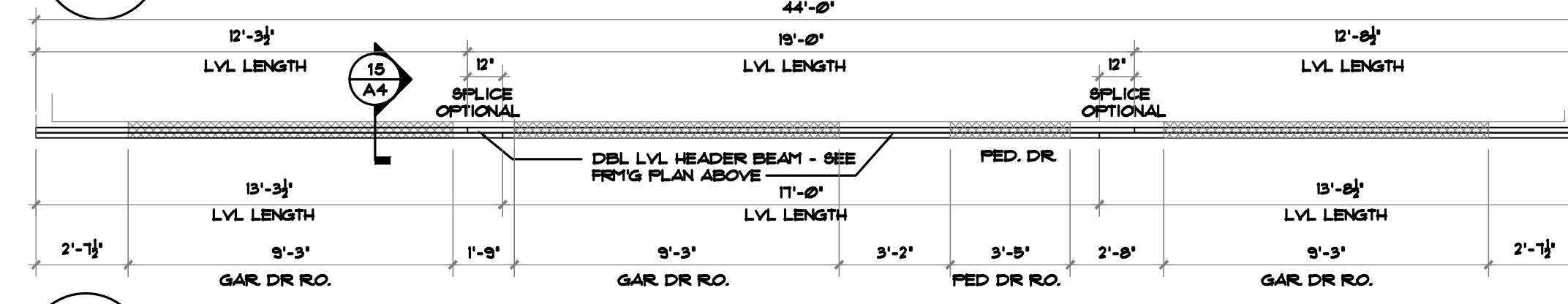
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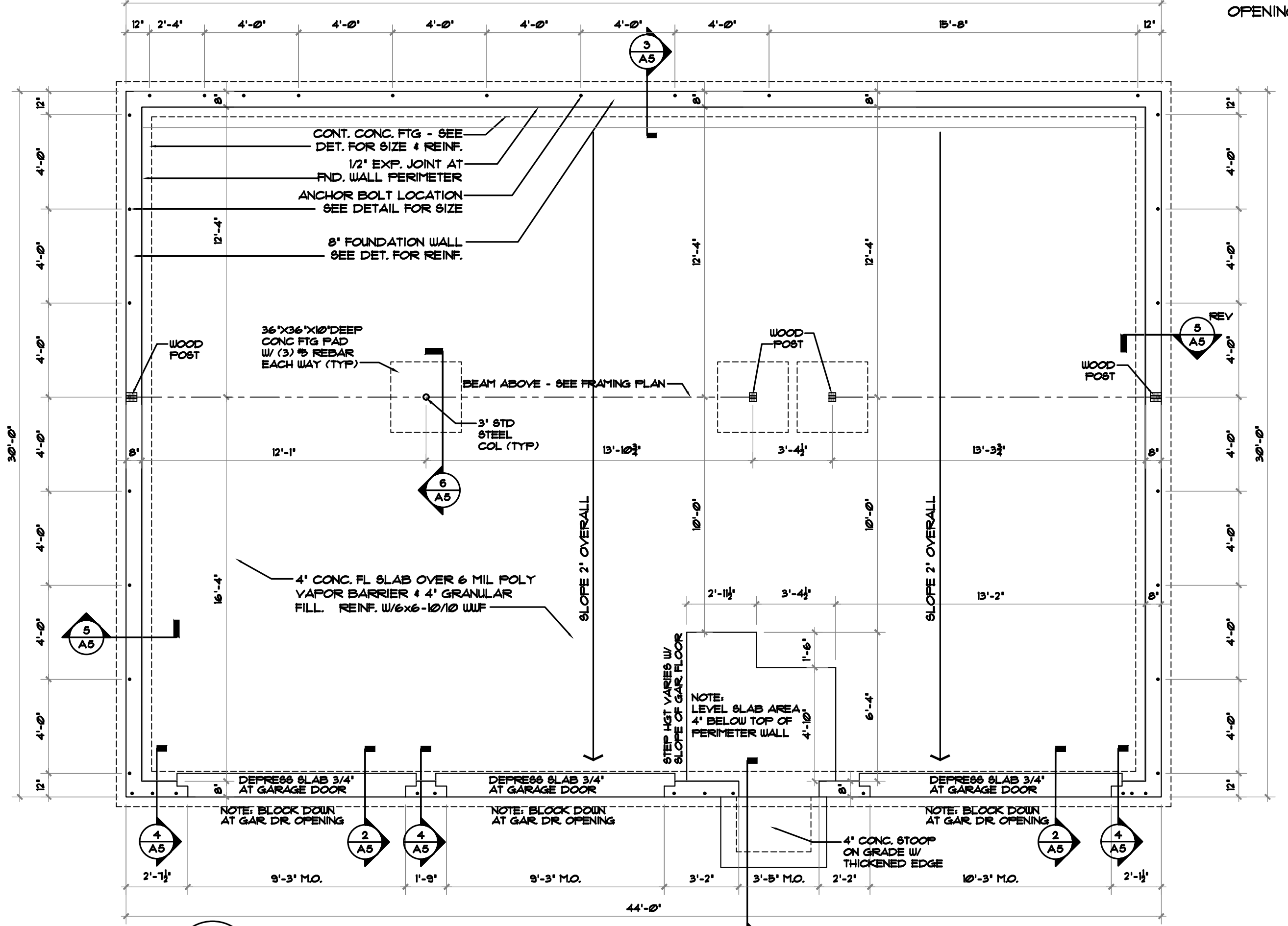
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4 GARAGE APARTMENT FLOOR FRAMING PLAN
AI SCALE: 1/4"=1'-0"



4A GAR. DR. HEADER BEAM PLAN
AI SCALE: 1/4"=1'-0"
NOTE: HATCHED AREA INDICATES GARAGE DOOR ROUGH OPENING WIDTH. OWNER OPTION TO SPLICE HEADER WHERE INDICATED. SEE DETAIL 1/A1



1 FOUNDATION PLAN
AI SCALE: 1/4"=1'-0"

- NOTES:
- DIMENSIONS SHOWN ARE FROM ONE SIDE OF STUDS TO ONE SIDE OF INTERIOR STUDS OR FROM CONC TO CONC
 - EXTERIOR STUD WALLS ARE 2X6 STUDS @ 16" O.C. AND AND INT. WD. PARTITIONS ARE 2X4 STUDS @ 16" O.C. UNO.
 - USE OF STD 2 1/4" CASING TRIM USED TO DETERMINE INTERIOR DIMENSIONS REQUIRED NEXT TO DOORS. OWNER/BUILDER SHALL BE RESPONSIBLE FOR ALL INTERIOR DIMENSIONS AND CONFLICTS WITH CASING TRIM IF A WIDER CASING TRIM IS TO BE USED.
 - DIMENSIONS ARE TO ROUGH CONSTRUCTION
 - CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS W/ MANUF. BEFORE COMMENCEMENT OF CONSTRUCTION
 - WINDOW AND PATIO DOORS SHALL BE ANDERSEN 200 SERIES NARROW LINE UNITS
 - ALL CABINERY TO BE DETERMINED BY CABINET PROVIDER
 - INTERIOR WALL/CLG. FINISH SHALL BE 1/2" GYP. BD IN ART. INCLUDING STAIR. GARAGE INTERIOR WALL/CLG. FINISH SHALL BE 5/8" TYPE 'X' GYP. BD.

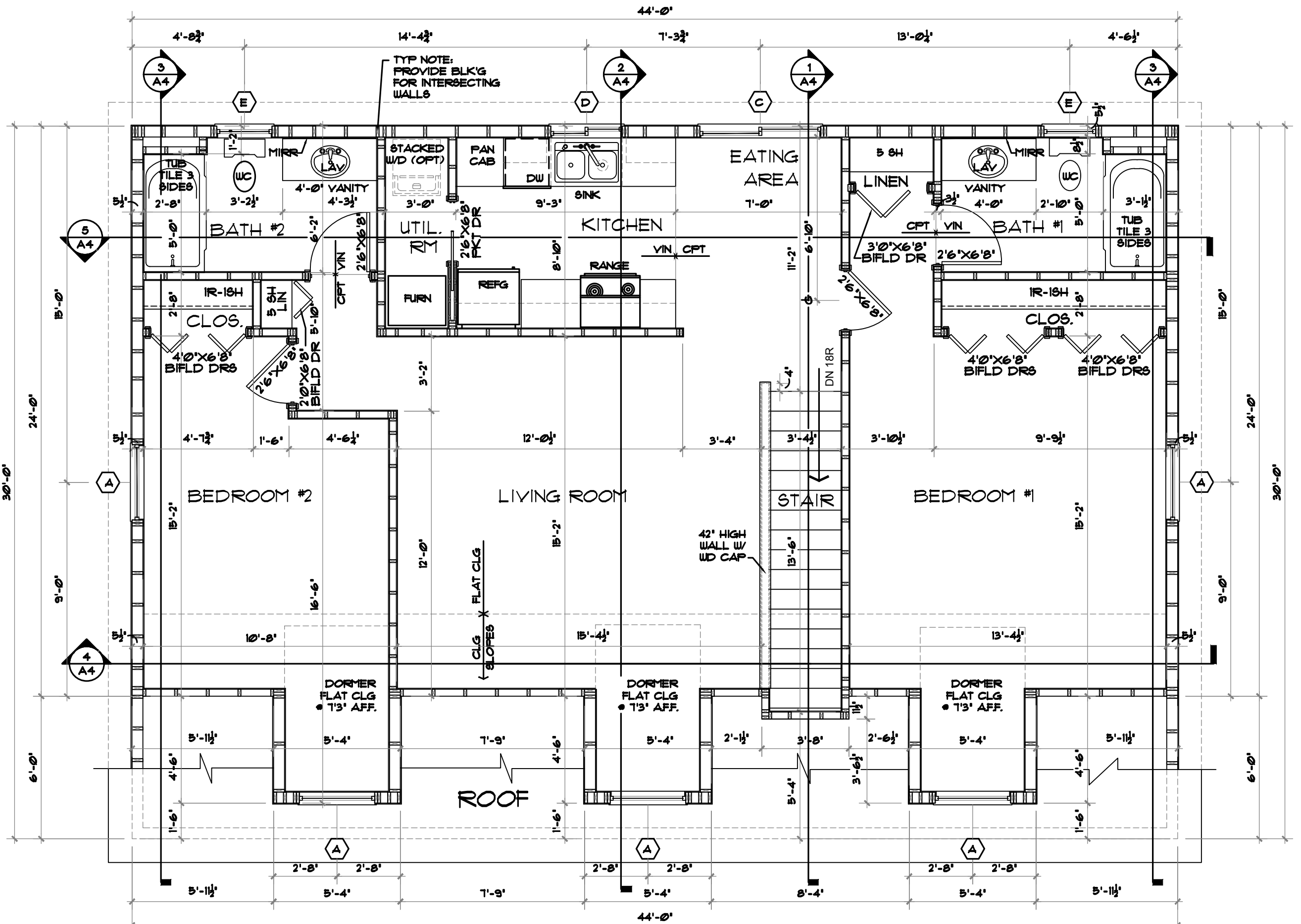
ROOM	FLOOR		
	CARPET	VINYL	CONC.
FOYER			
STAIR			
EATING			
KITCHEN			
UTILITY ROOM			
LIVING ROOM			
BED ROOM #1			
BATH #1			
BED ROOM #2			
BATH #2			
GARAGE			

NOTE: CLOSET FLOORS TO BE SAME FINISH AS ADJACENT ROOMS UNO

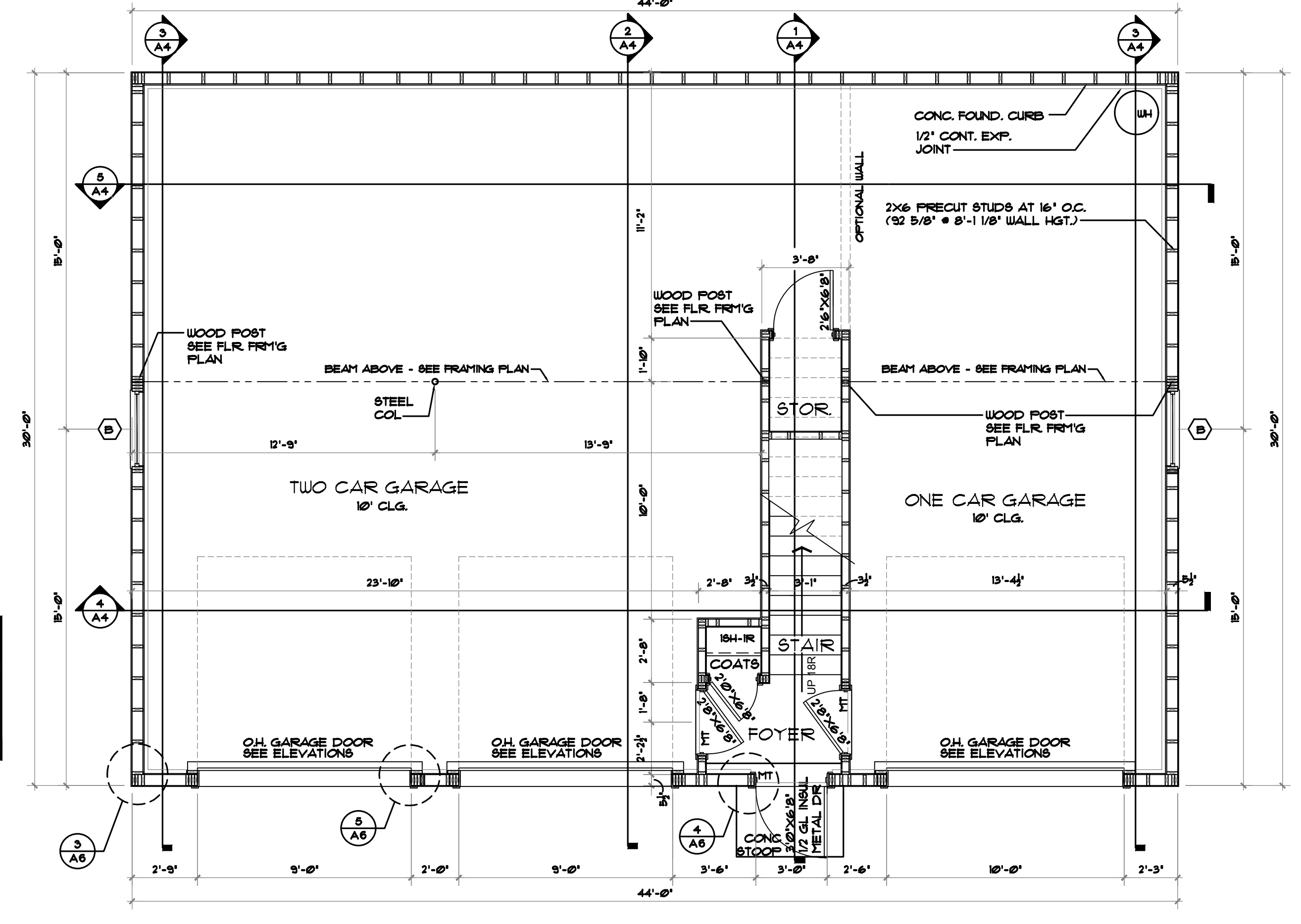
MARK	MANUF.	MODEL #	UNIT DIMENSION	REMARKS
A	ANDERSEN	3050	3'-1 5/8" X 5'-3 1/4"	EGRESS
B		3042	3'-1 5/8" X 4'-5 1/4"	
C		244GUB040	4'-11 1/2" X 3'-11 1/2"	GLIDING WINDOW
D		244GUB030	2'-11 1/2" X 2'-11 1/2"	GLIDING WINDOW
E		20210	2'-1 5/8" X 3'-1 1/4"	

NOTE: ADD 1/2" TO WINDOW HEIGHT AND WIDTH TO DETERMINE ROUGH OPENING DIMENSIONS

WINDOW SCHEDULE WINDOWS SHALL BE ANDERSEN 'NARROU-LINE' 200 SERIES WINDOWS



3 GARAGE APARTMENT FLOOR PLAN
AI SCALE: 1/4"=1'-0"



2 GARAGE FLOOR PLAN
AI SCALE: 1/4"=1'-0"

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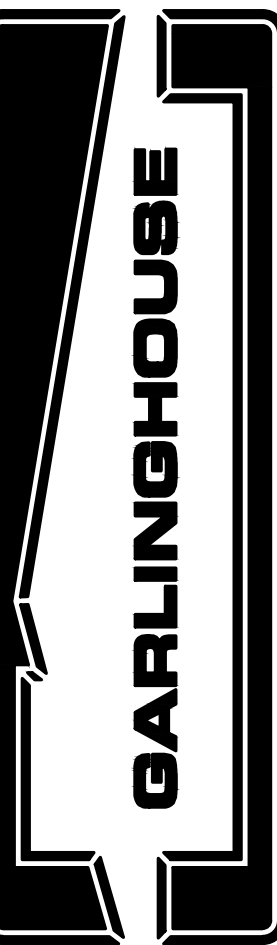
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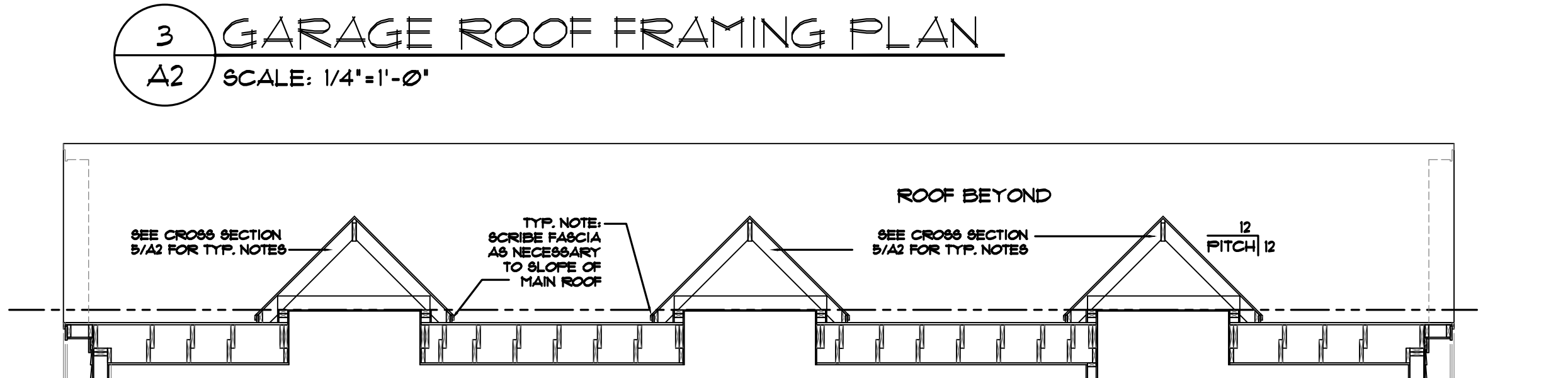
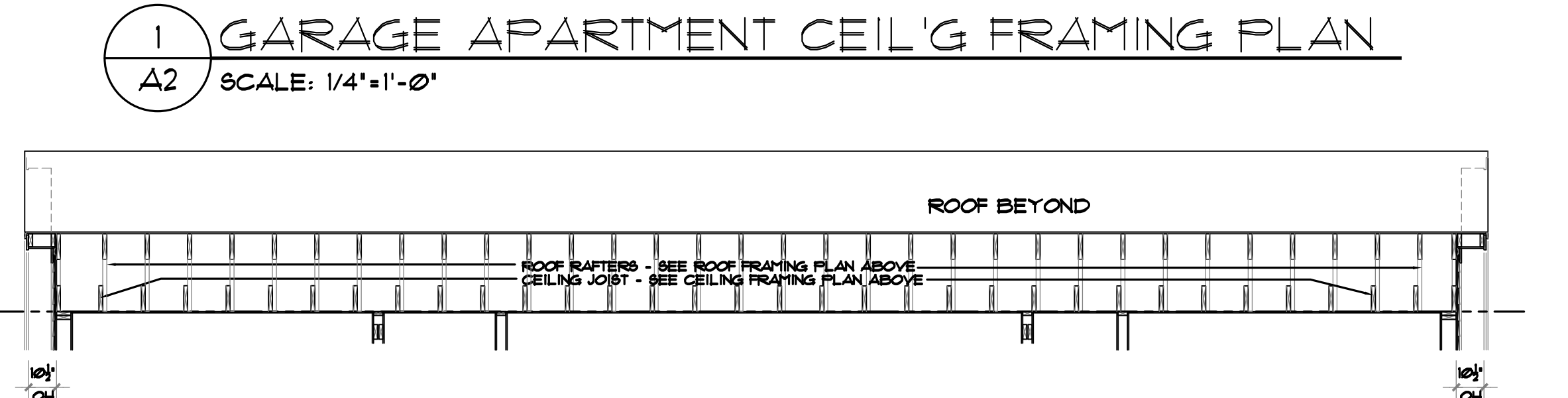
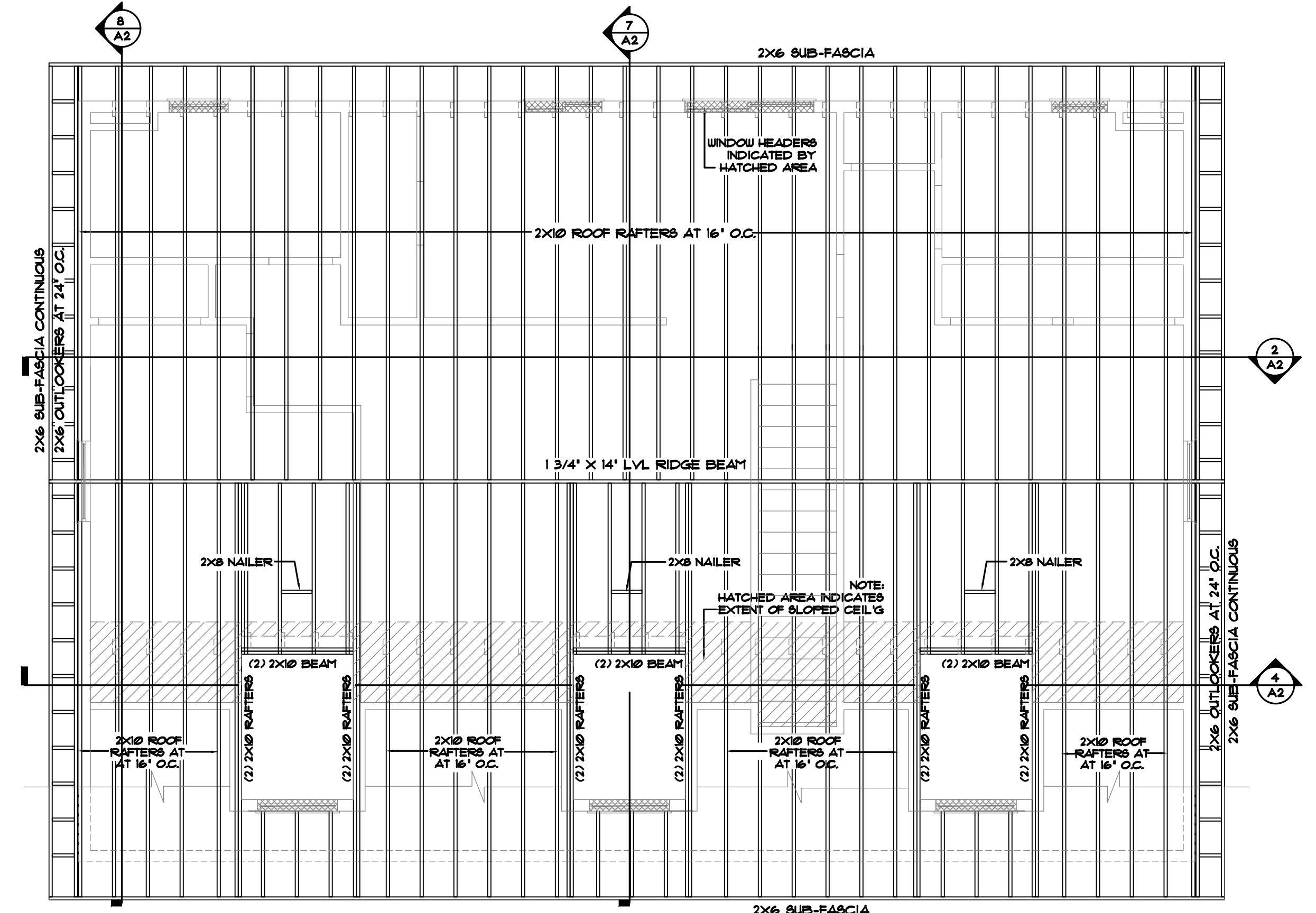
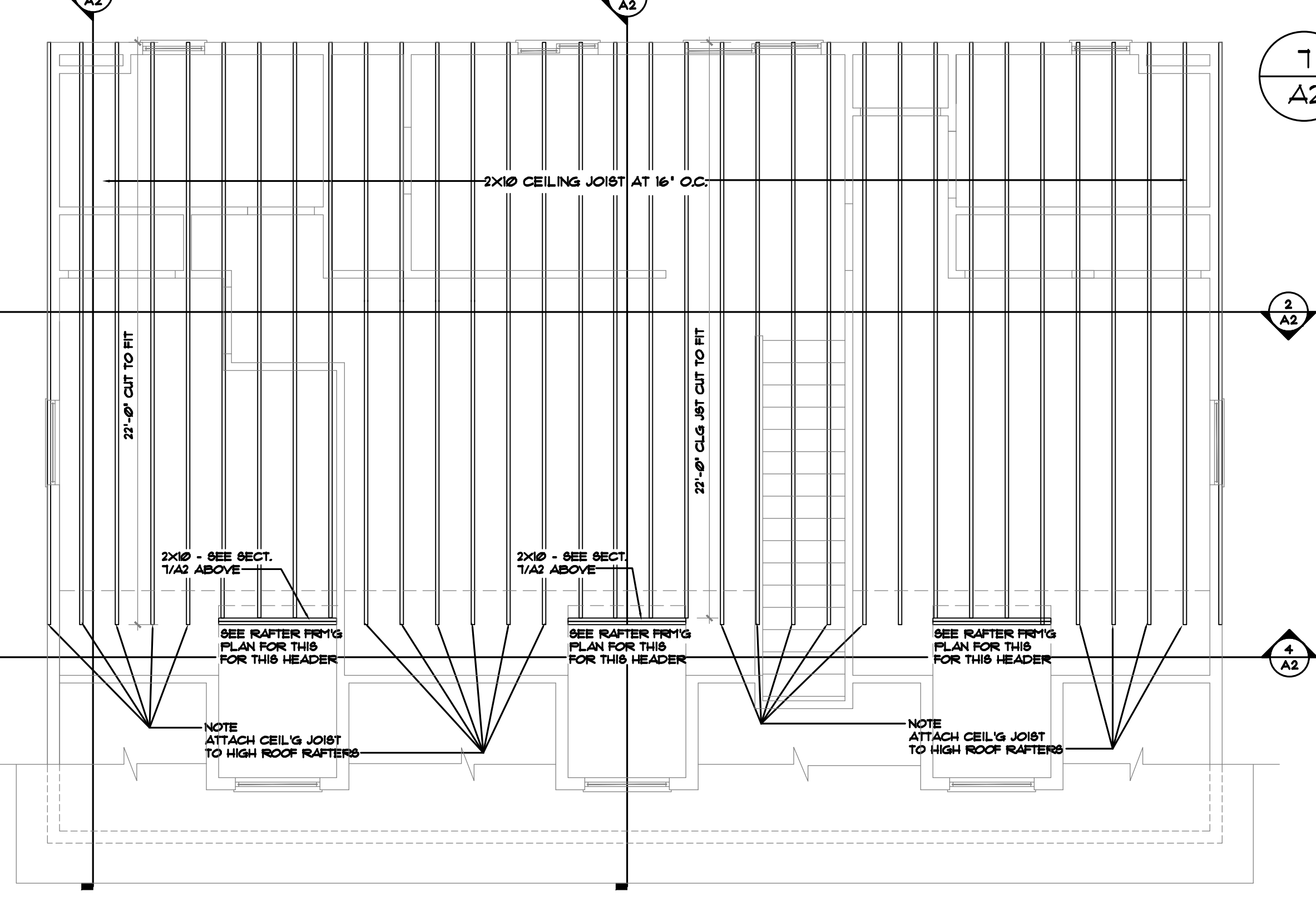
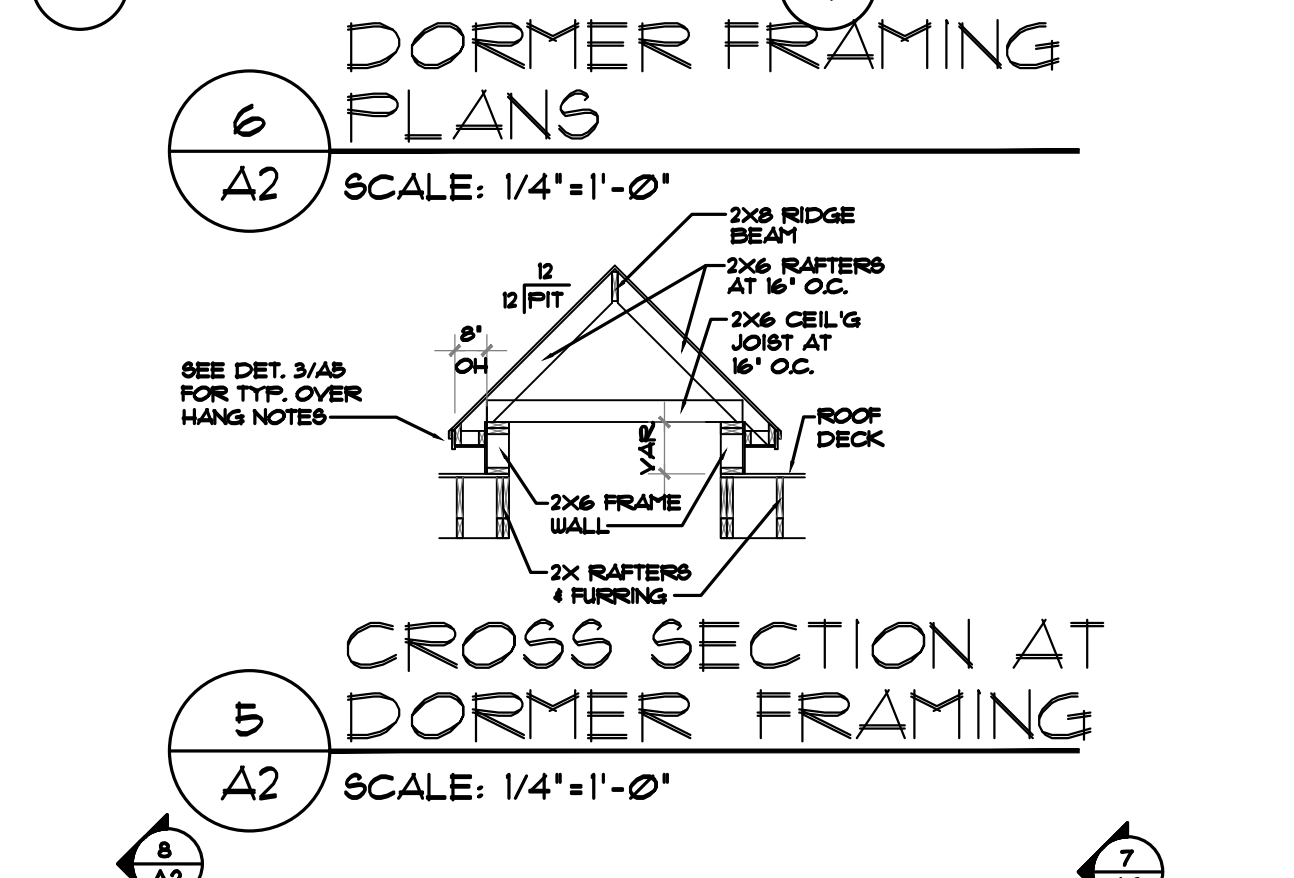
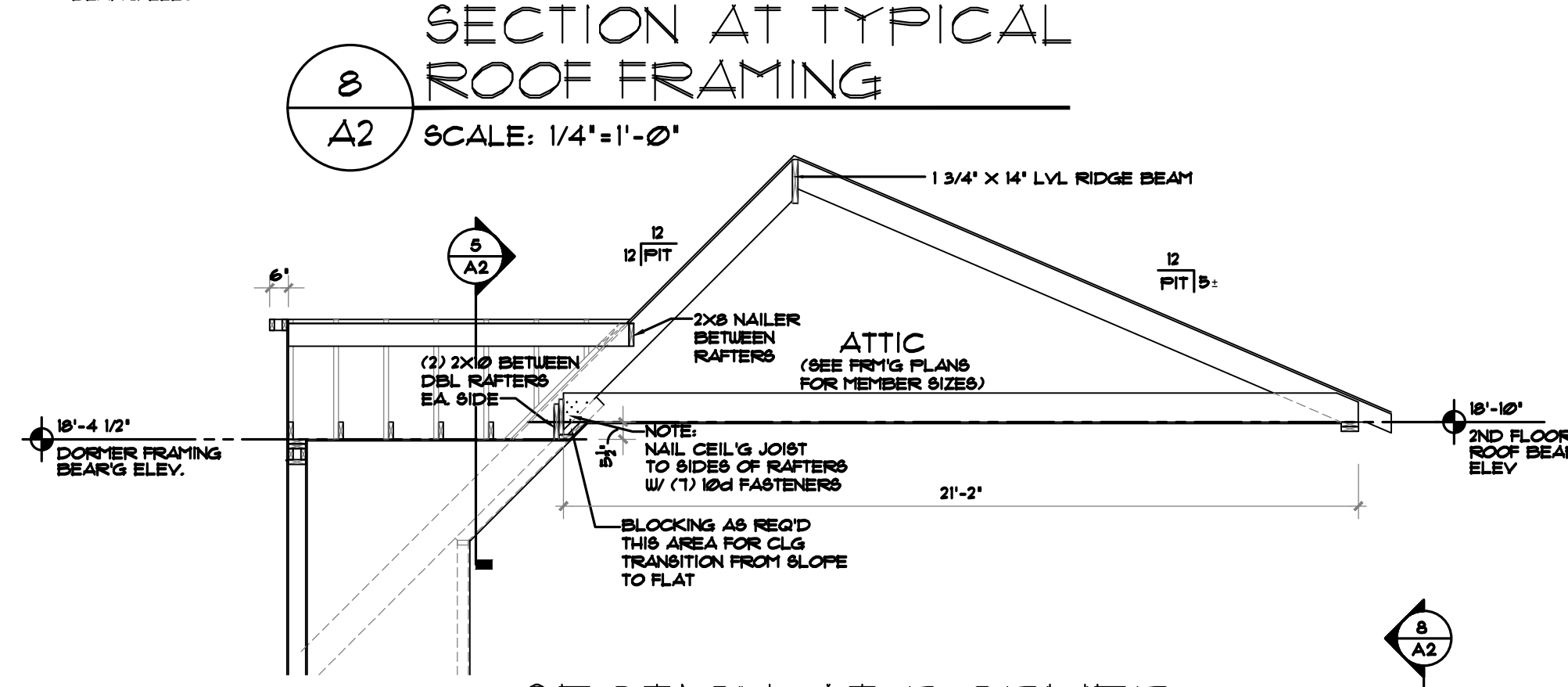
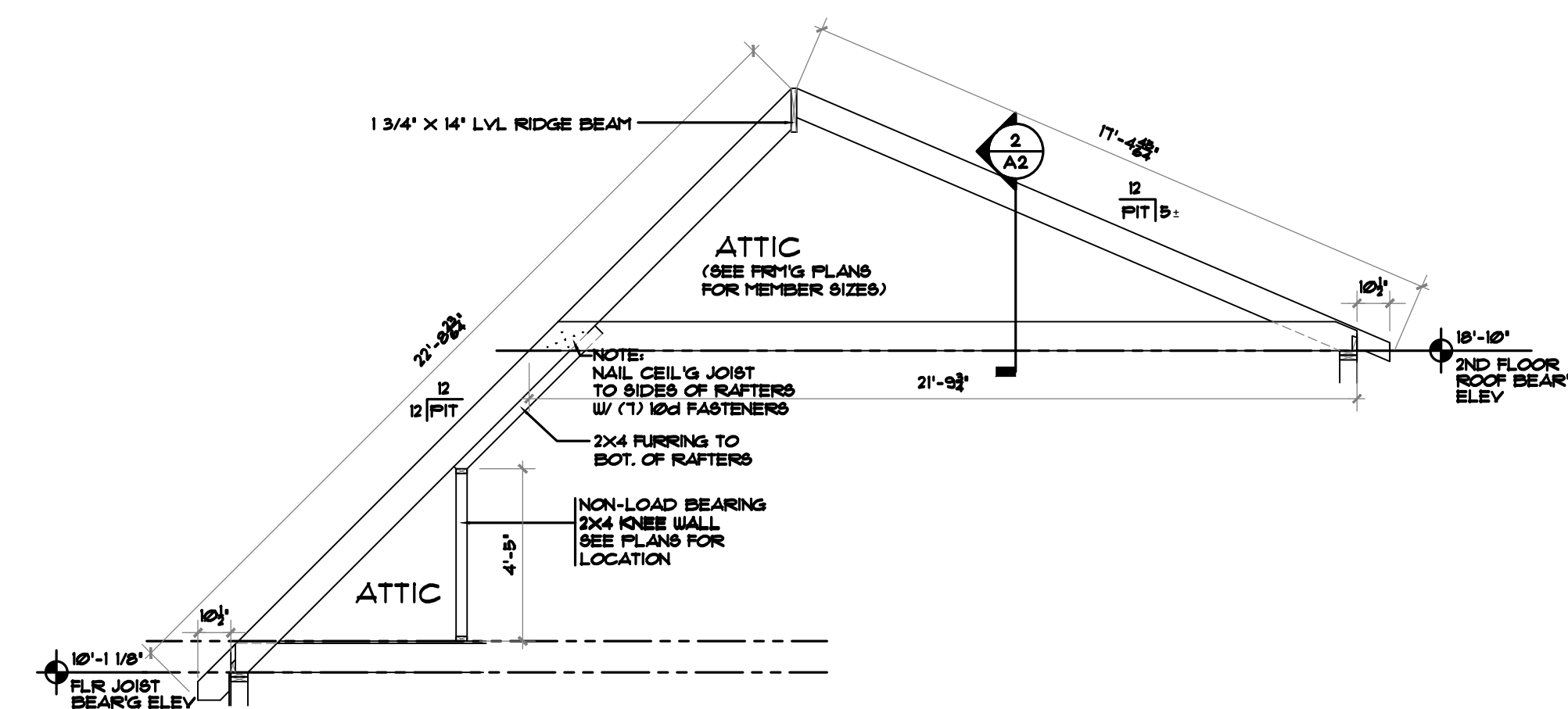
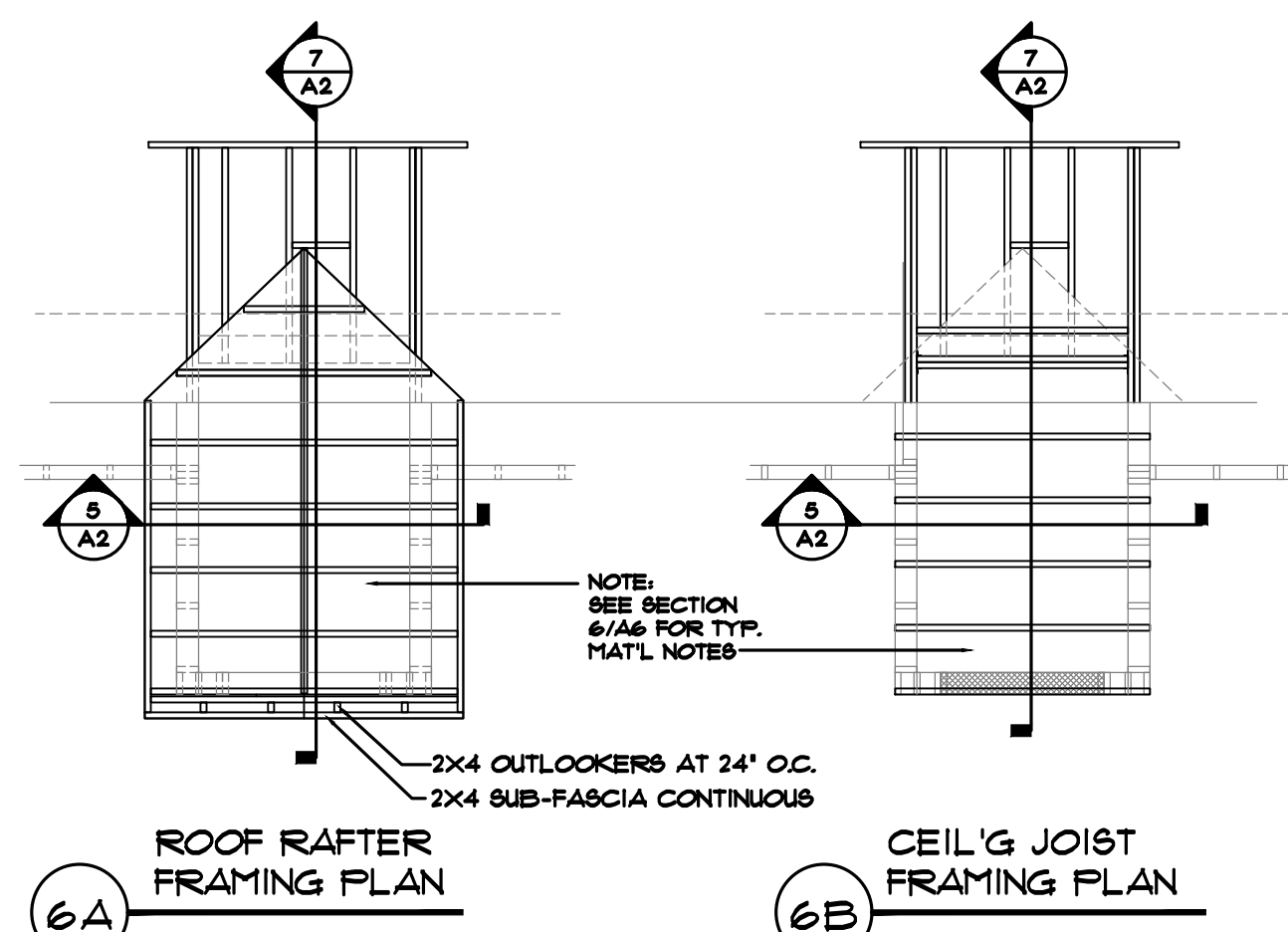


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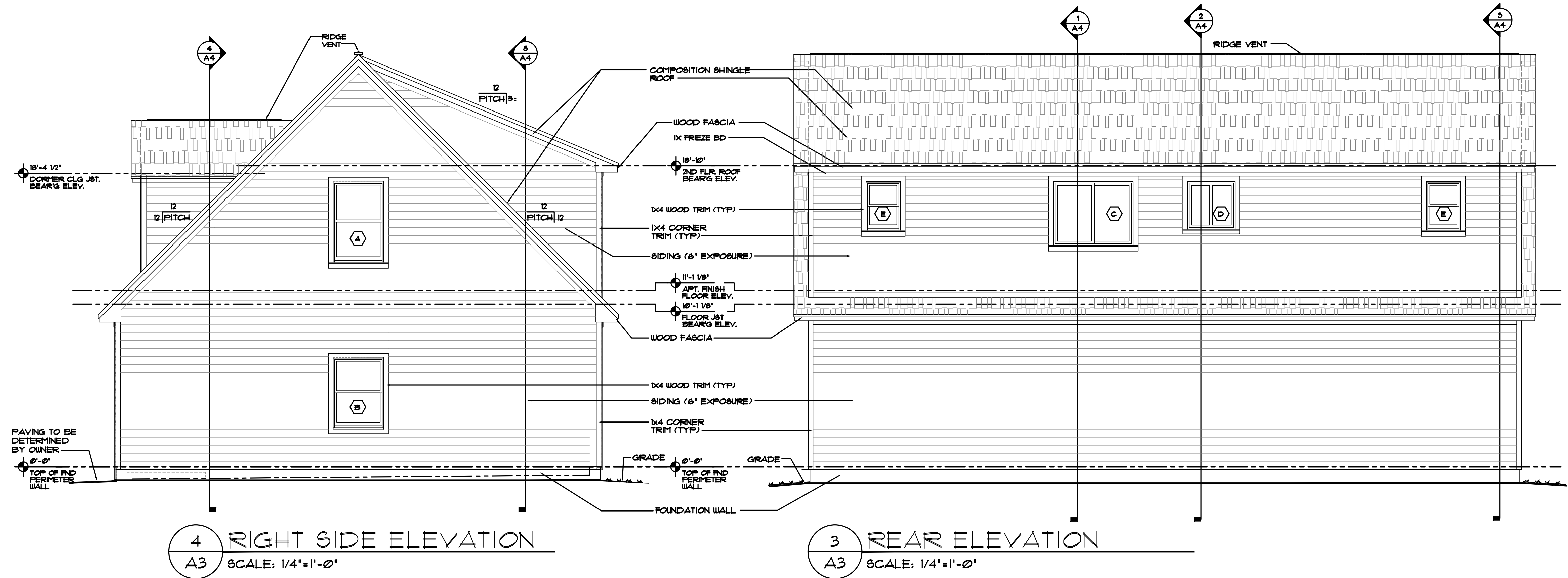
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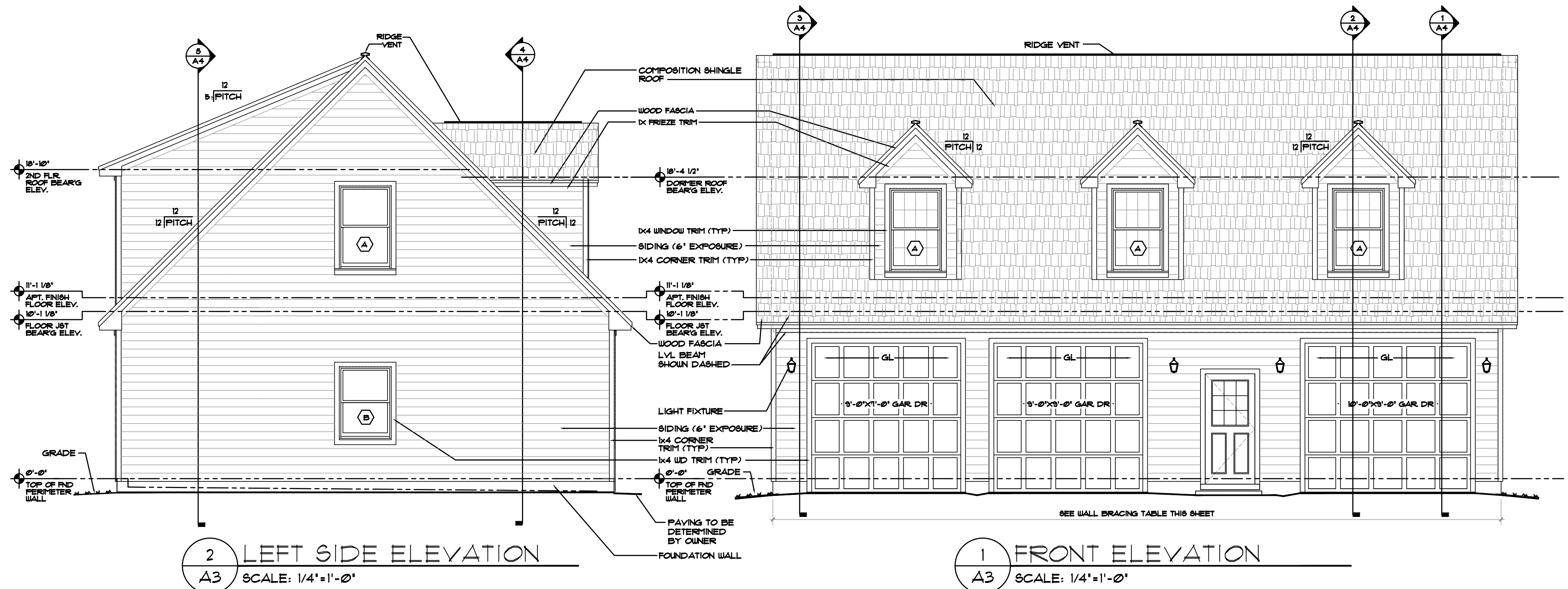
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WINDOWS SHALL BE ANDERSEN 'NARROWLINE' 2000 SERIES WINDOWS

MARK	MANUF.	MODEL #	UNIT DIMENSION	REMARKS
(A)	ANDERSEN	3046	3'-1 5/8" X 4'-5 1/4"	EGRESS
(B)		3042	3'-1 5/8" X 4'-5 1/4"	
(C)		244GLB040	4'-11 1/2" X 3'-11 1/2"	GLASS BIFABSS
(D)		244GLB030	2'-11 1/2" X 2'-11 1/2"	GLASS BIFABSS
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NOTE: ADD 1/2" TO WINDOW HEIGHT AND WIDTH TO DETERMINE ROUGH OPENING DIMENSIONS



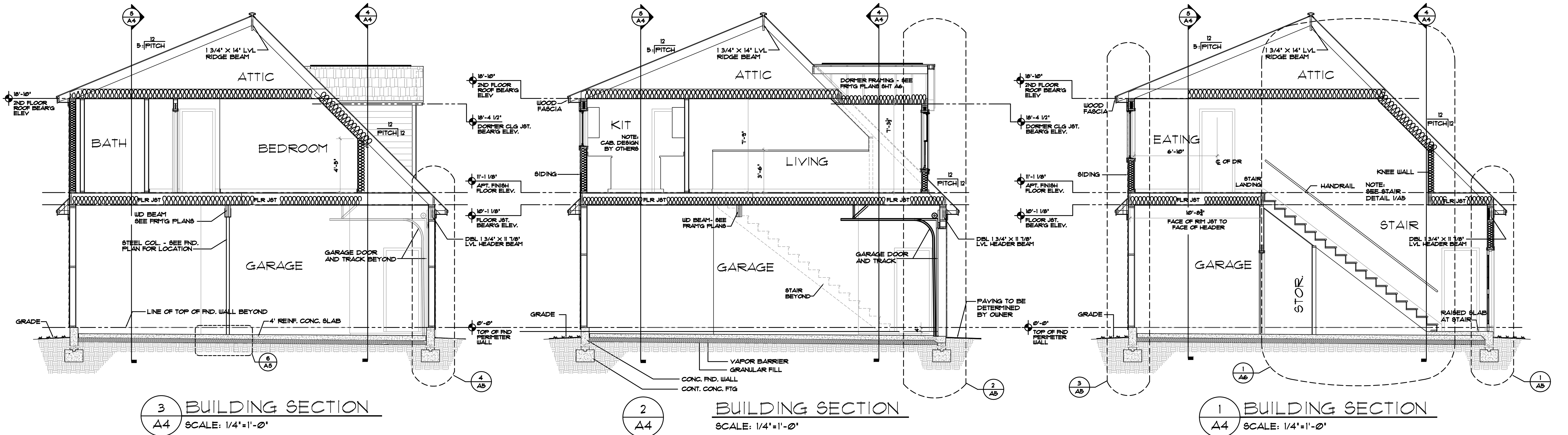
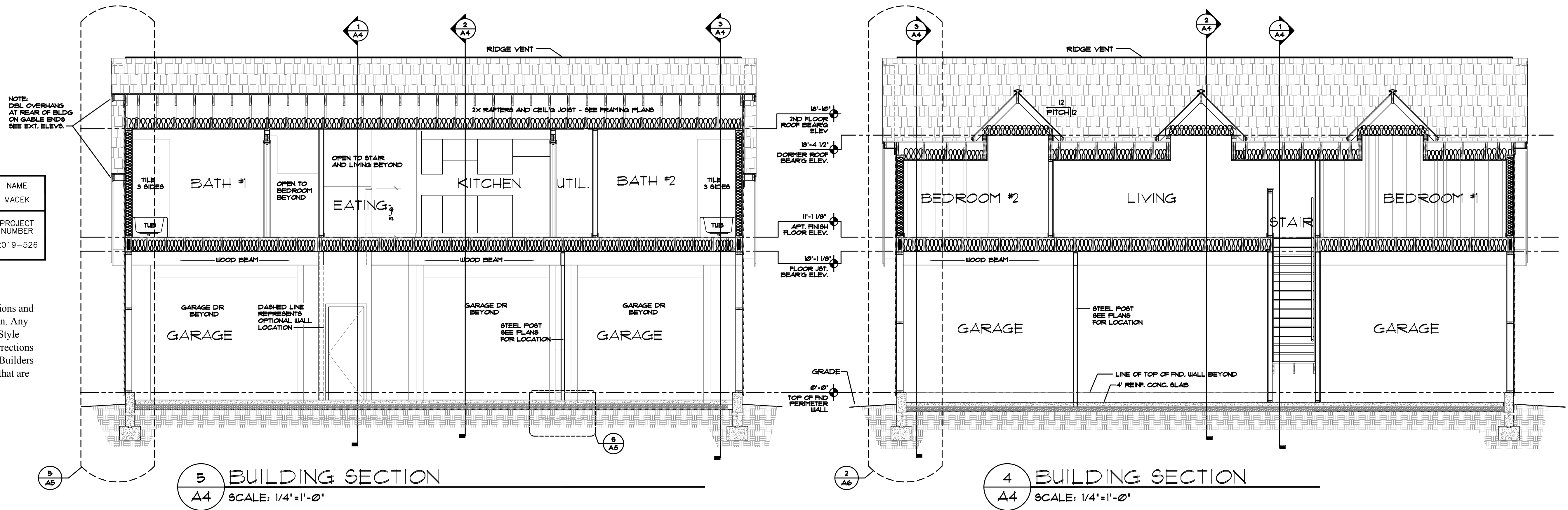
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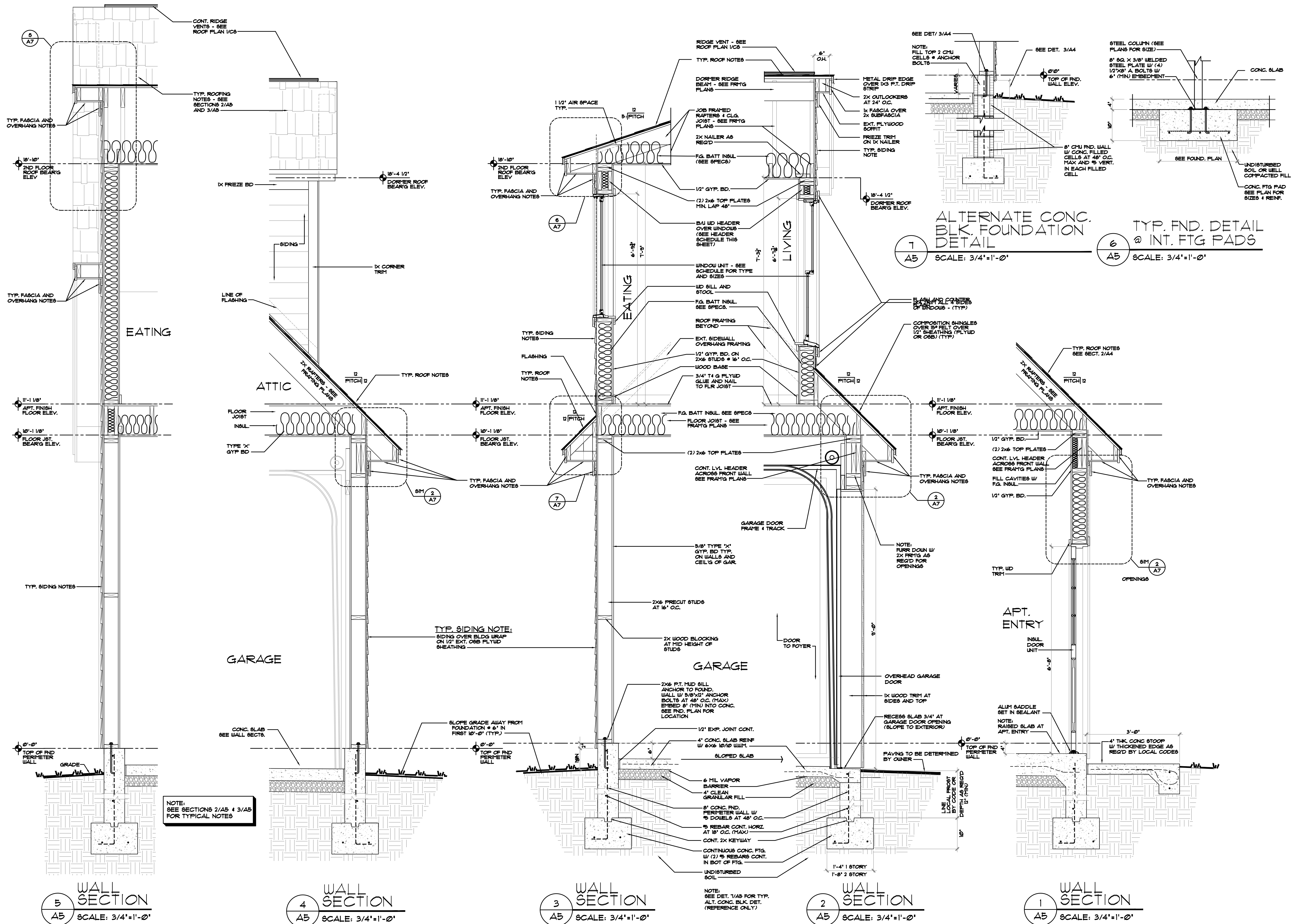
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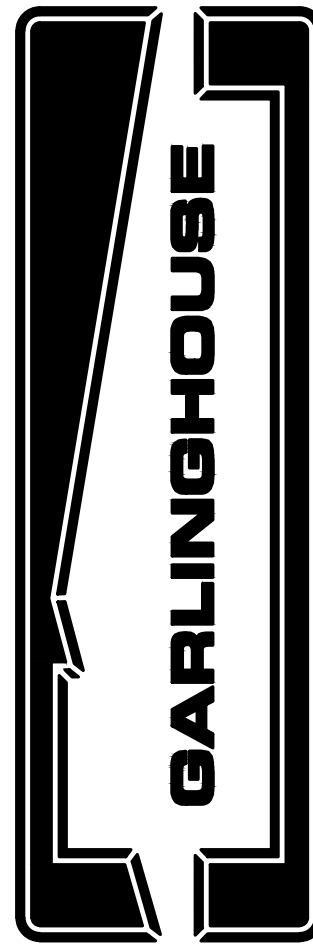
NOTE: SEE SECTIONS 2/A5 & 3/A5 FOR TYPICAL NOTES

NOTE: SEE DET. 1/A5 FOR TYP. ALT. CONC. BLK. DET. (REFERENCE ONLY)

Owner: Lot No.
Address:
Ref. No.: 040413

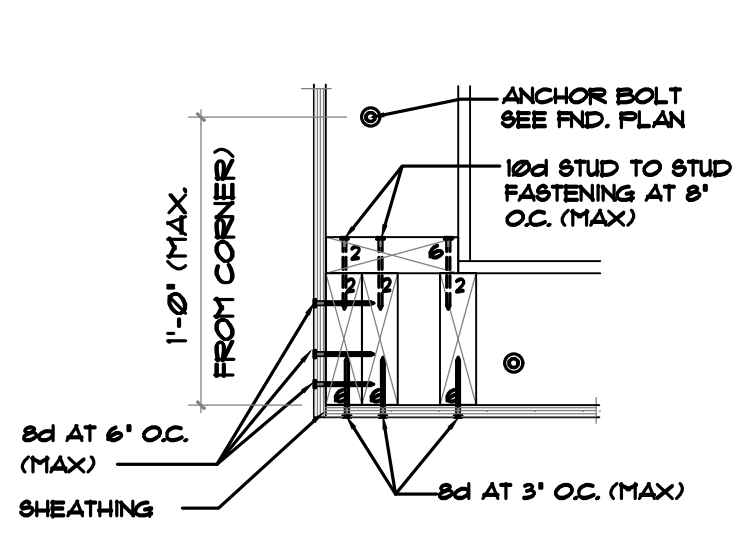
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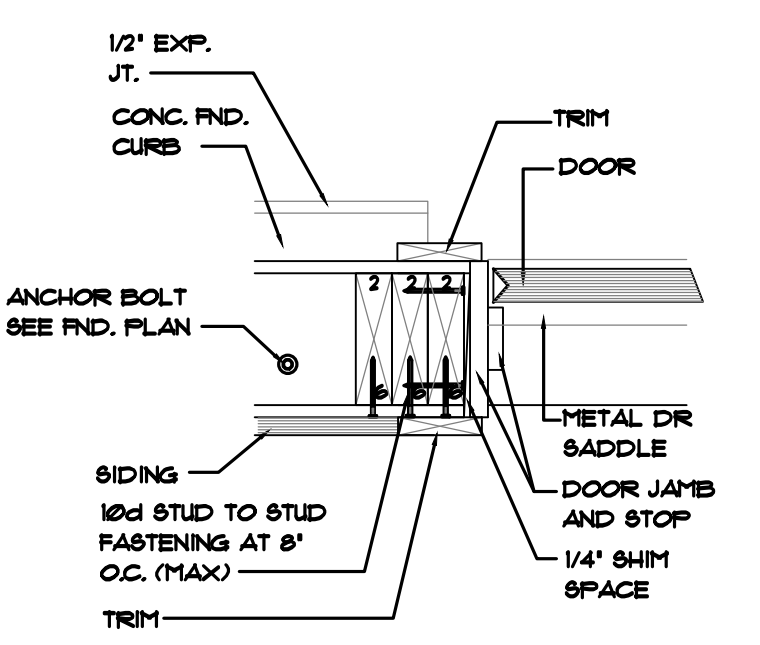


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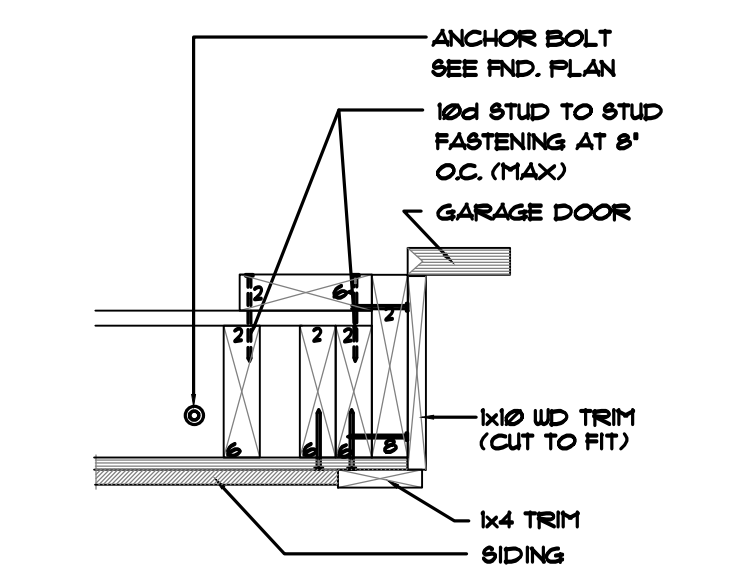
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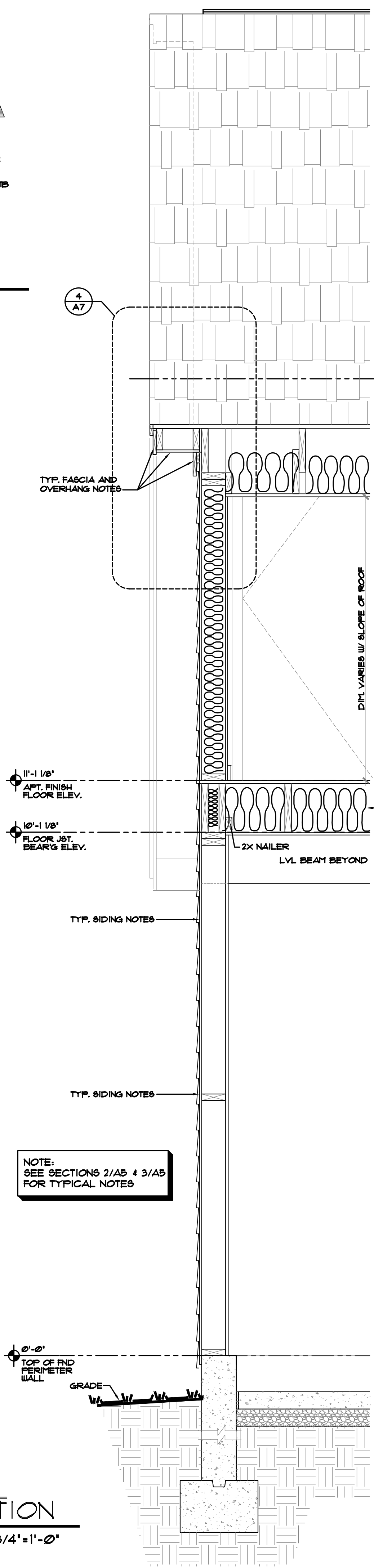
3 TYP. CORNER WALL STUDS PLAN DETAIL
A6 SCALE: 1 1/2"=1'-0"



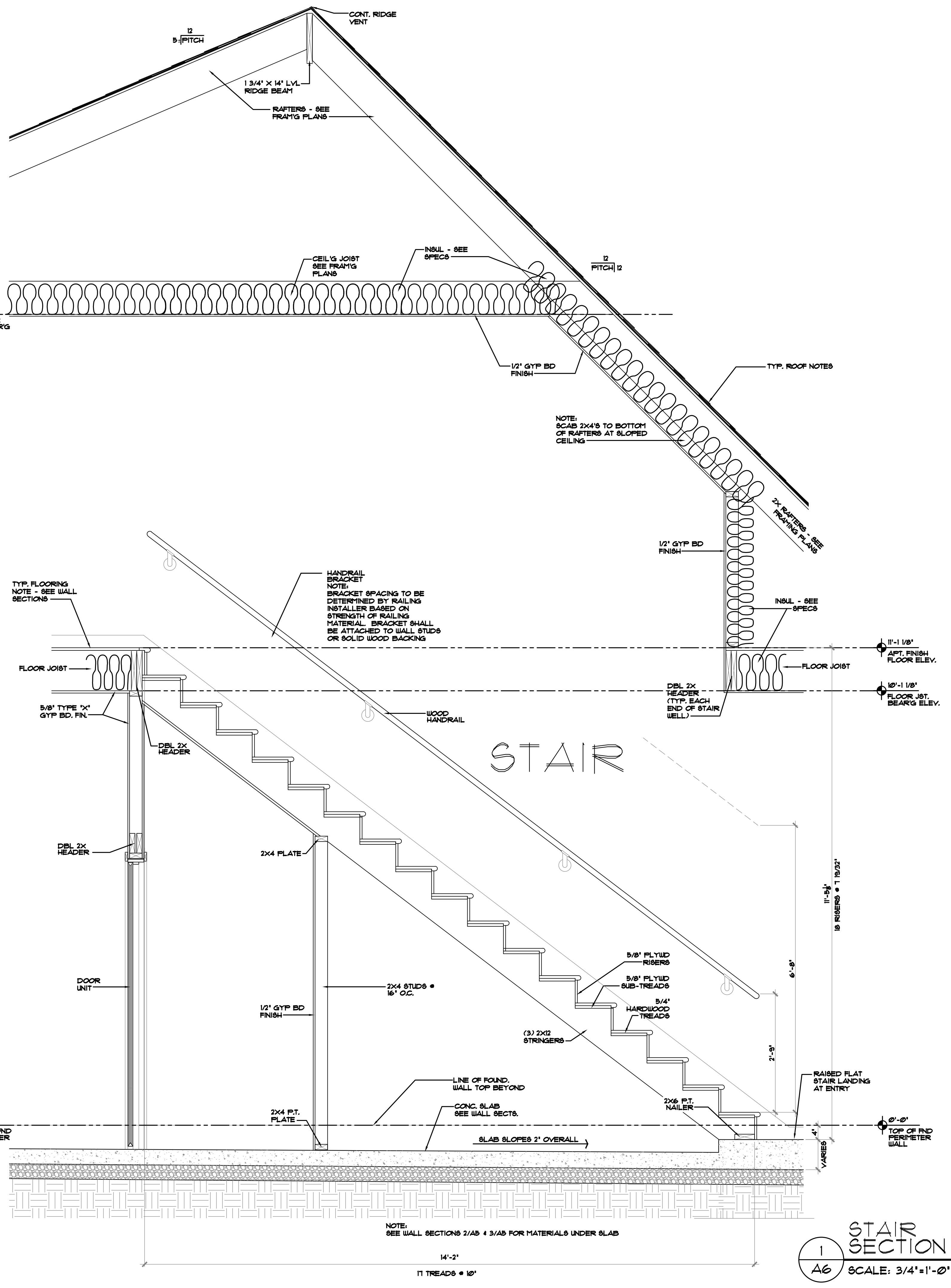
4 TYP. PEDESTRIAN DR. JAMB DETAIL
A6 SCALE: 1 1/2"=1'-0"



5 TYP. GARAGE DR. JAMB DETAIL
A6 SCALE: 1 1/2"=1'-0"



2 WALL SECTION
A6 SCALE: 3/4"=1'-0"



1 STAIR SECTION
A6 SCALE: 3/4"=1'-0"

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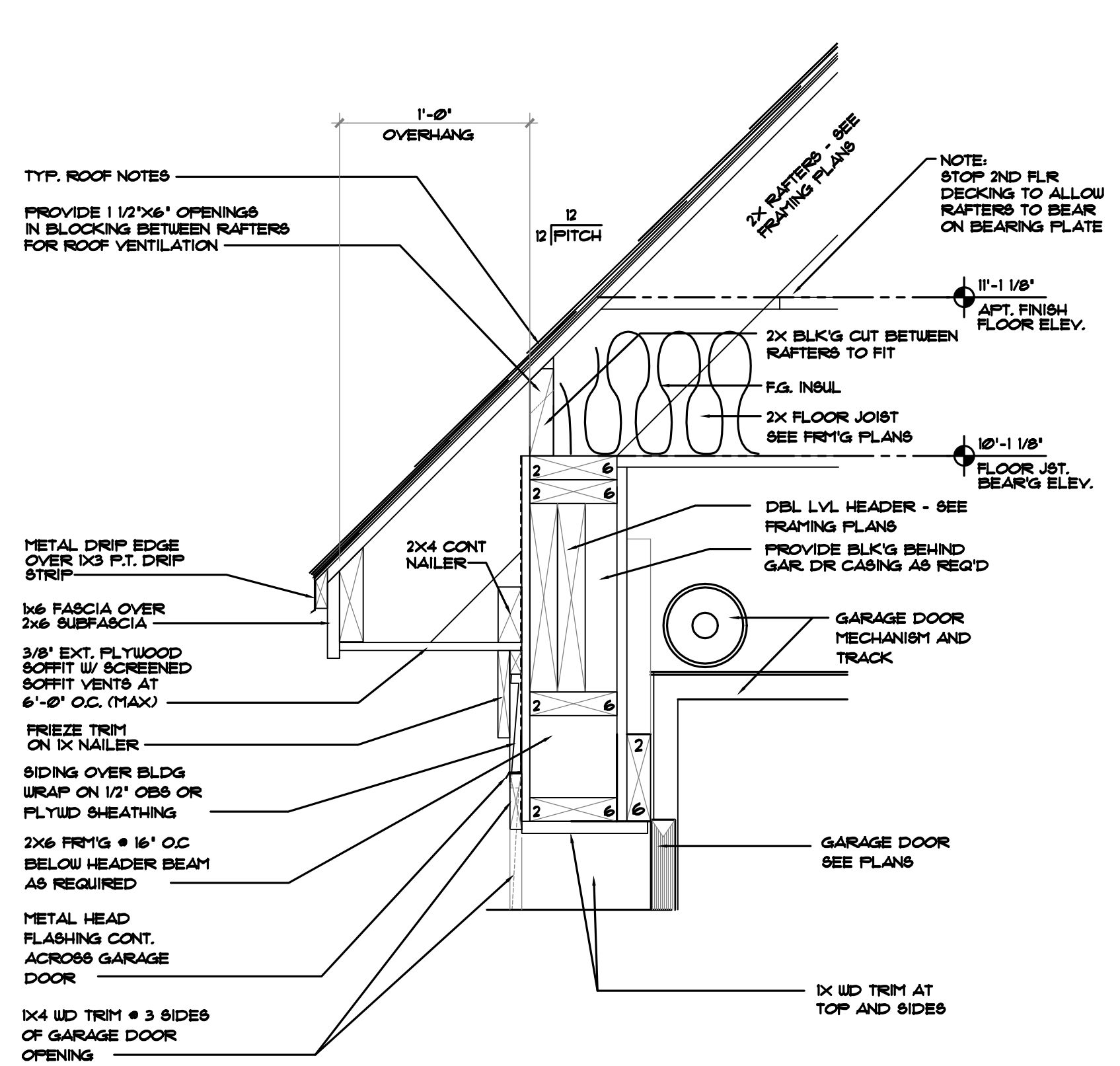
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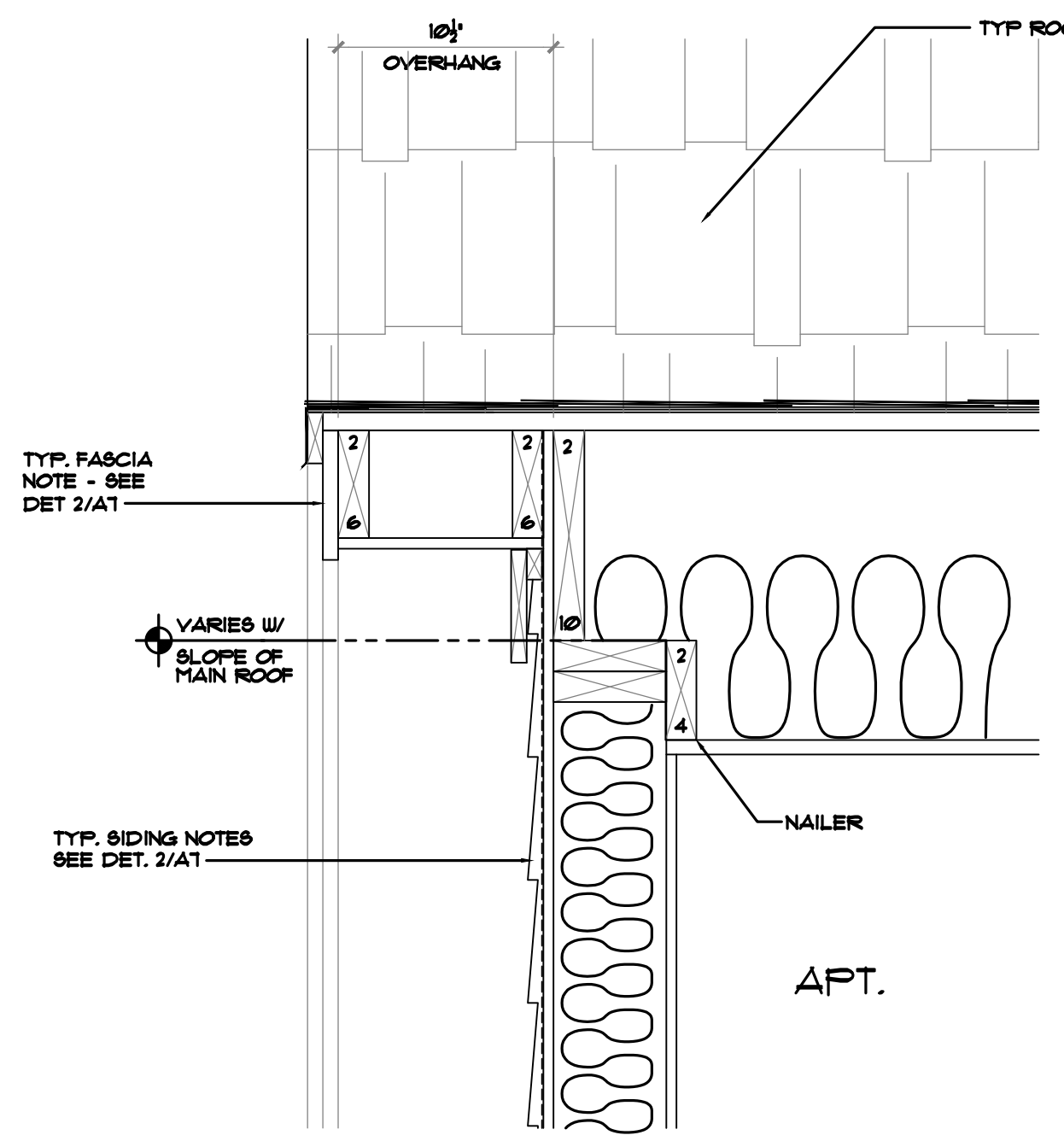
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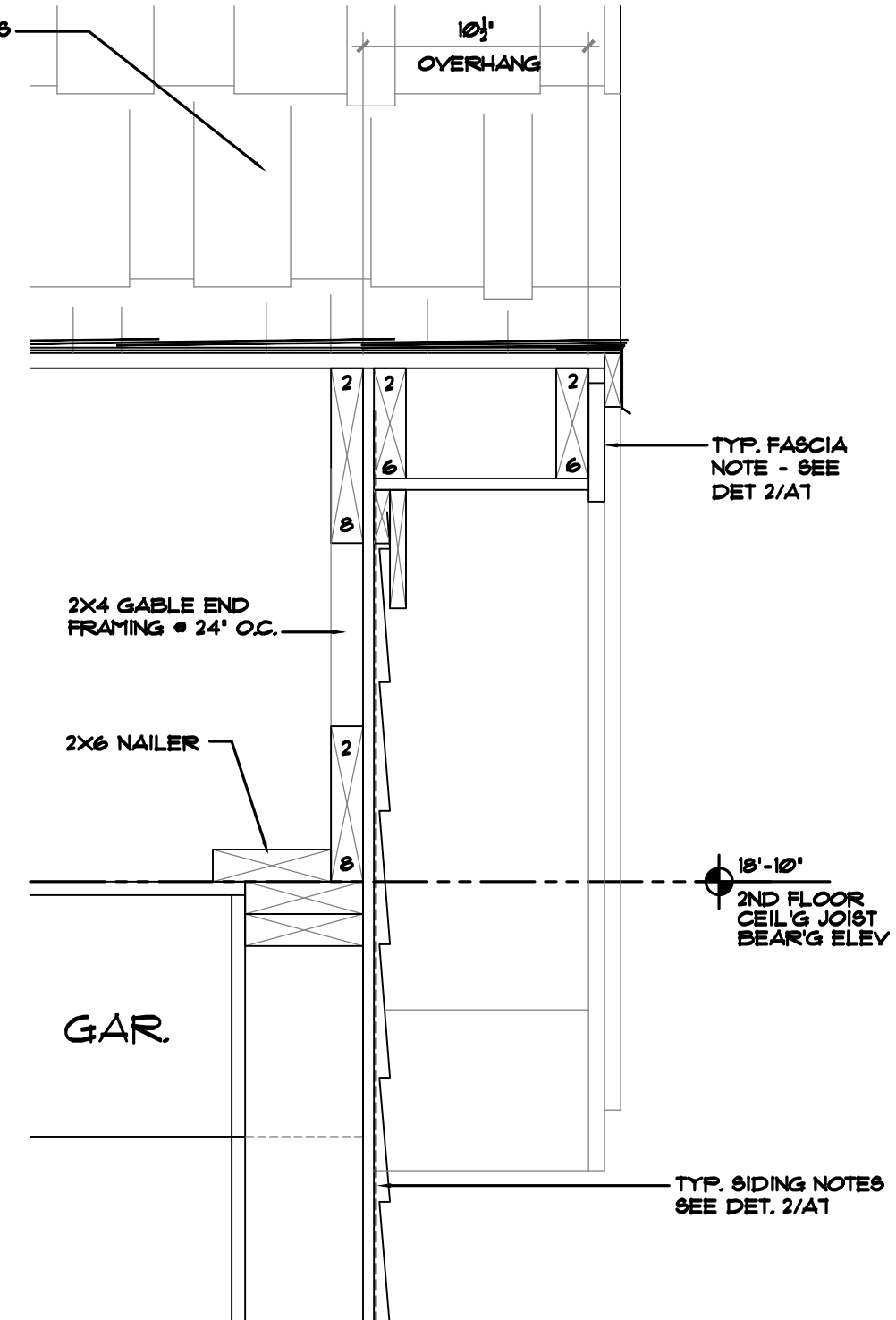


2 GARAGE DOOR HEADER DET.
A1 SCALE: 1 1/2"=1'-0"

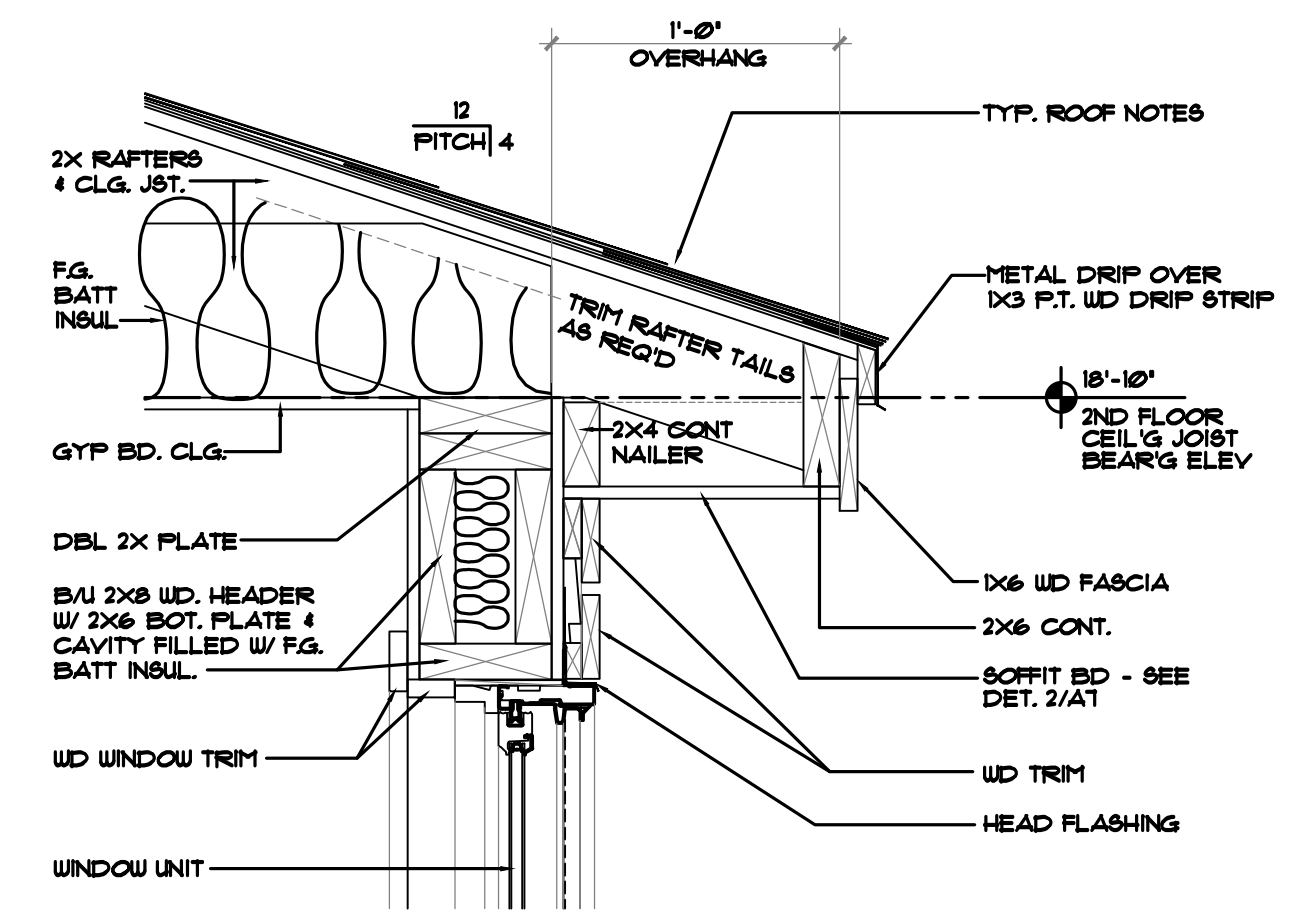
3 NOT USED
A1 SCALE: 1 1/2"=1'-0"



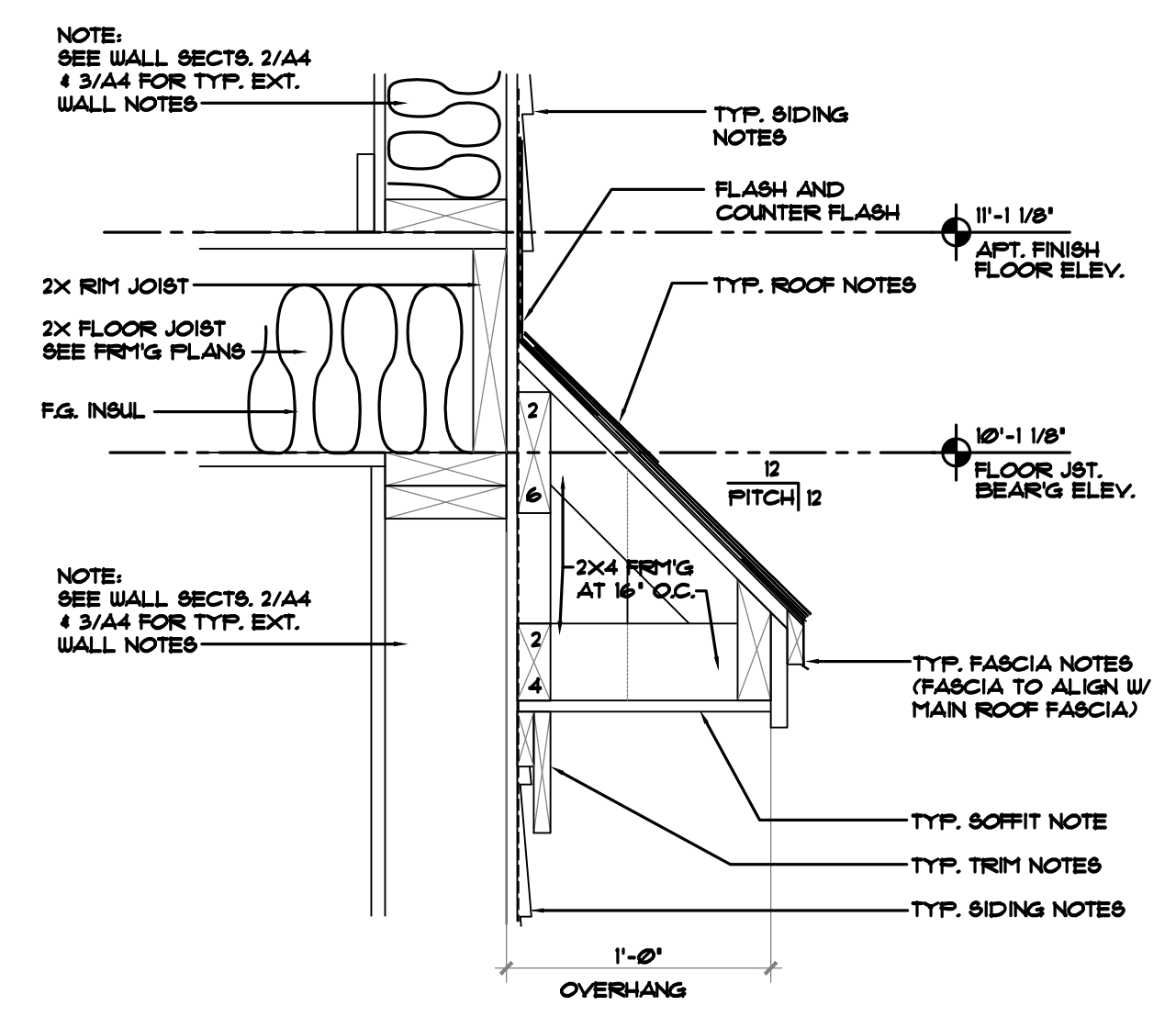
4 END WALL OVERHANG DET. AT MAIN ROOF
A1 SCALE: 1 1/2"=1'-0"



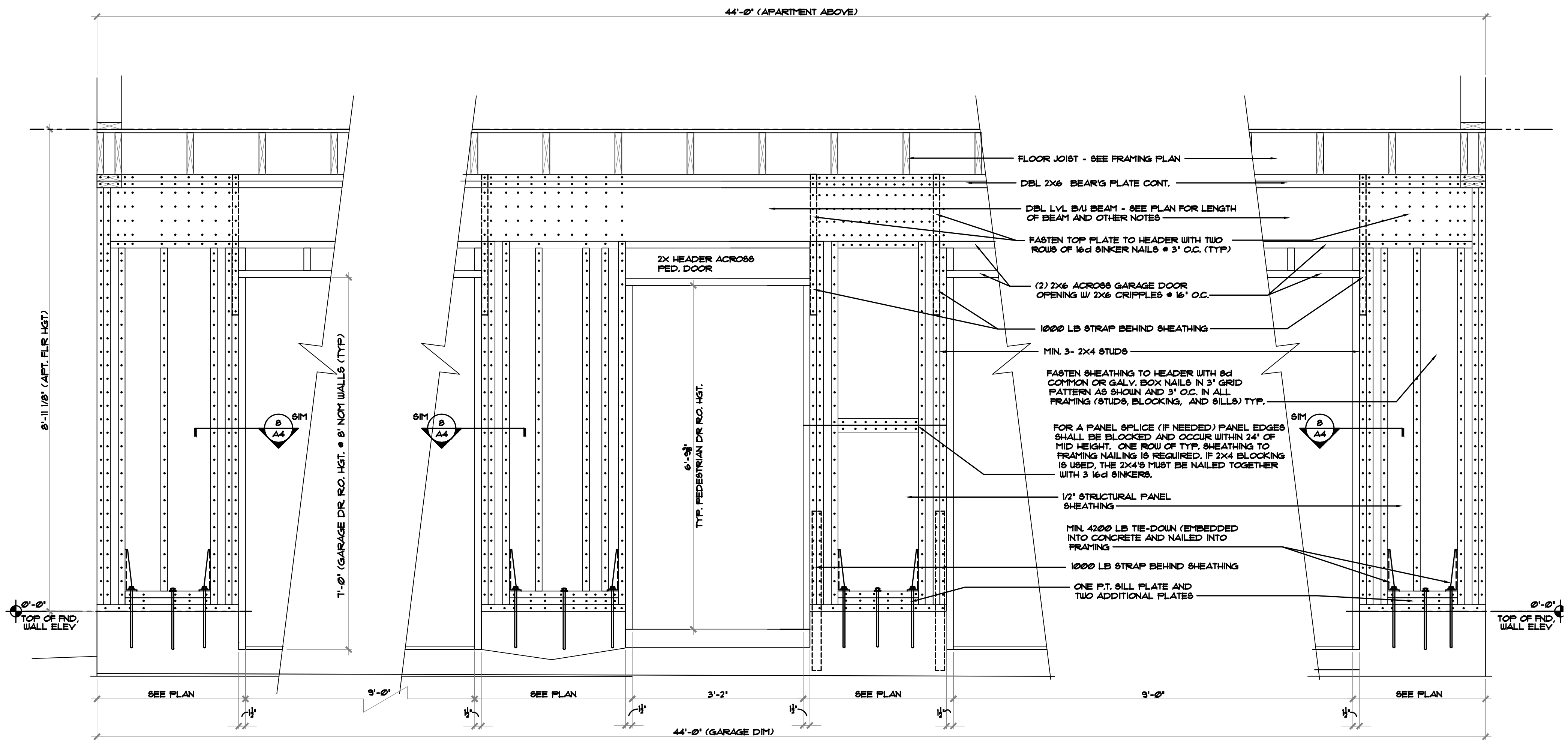
5 END WALL OVERHANG DET. AT LOW ROOF
A1 SCALE: 1 1/2"=1'-0"



6 2ND FLOOR REAR OVERHANG DET.
A1 SCALE: 1 1/2"=1'-0"



7 GARAGE REAR OVERHANG DET.
A1 SCALE: 1 1/2"=1'-0"



1 BRACED WALL PANEL DETAIL @ GARAGE DOOR OPENINGS
A1 SCALE: 3/4"=1'-0"
NOTE: DETAIL VIEWED FROM EXTERIOR SIDE OF WALL

NOTE: SEE PARAGRAPH R602.10.6.2 OF LATEST ADDITION OF INTERNATIONAL RESIDENTIAL CODE FOR ADDITIONAL INFORMATION

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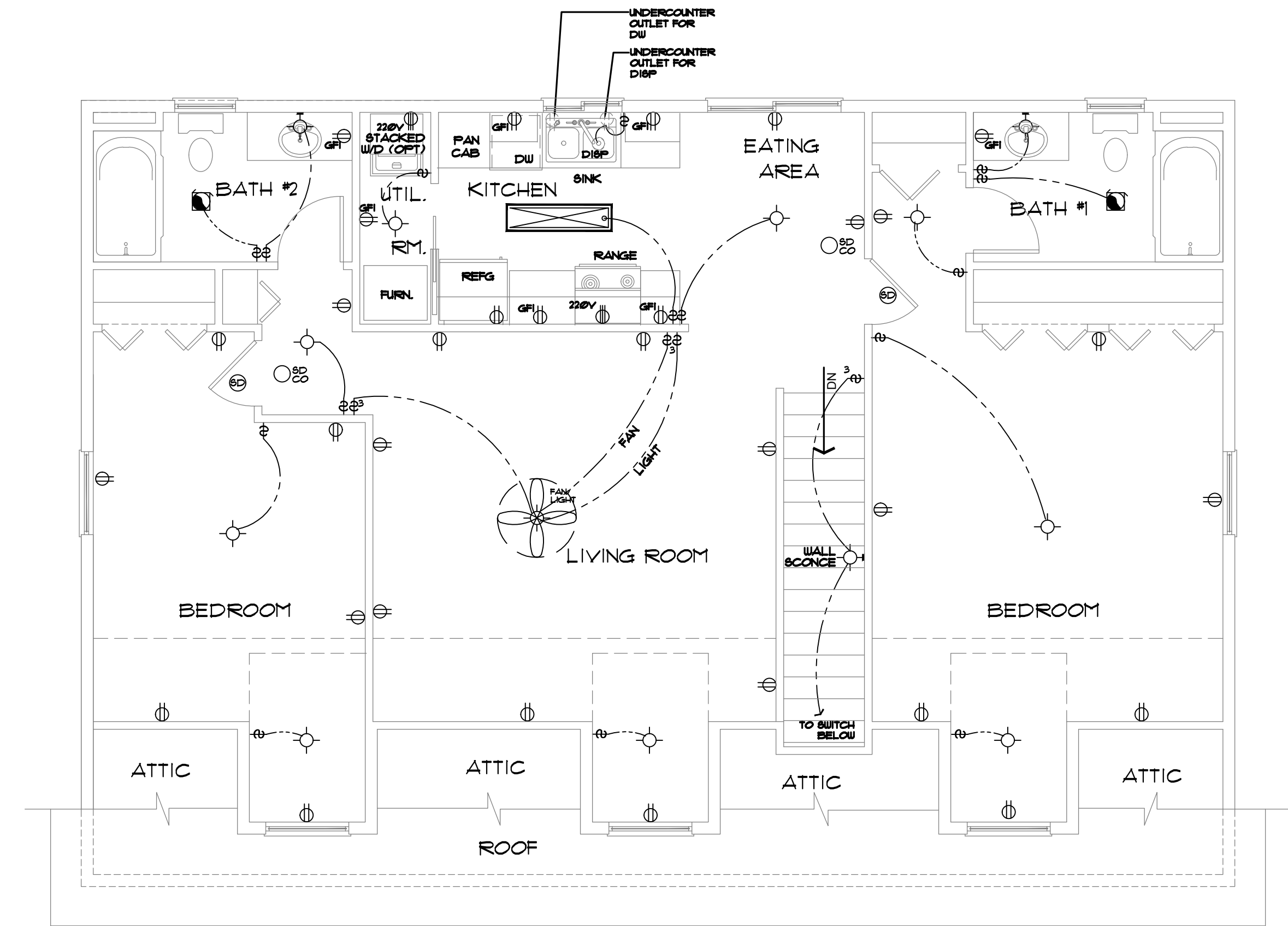
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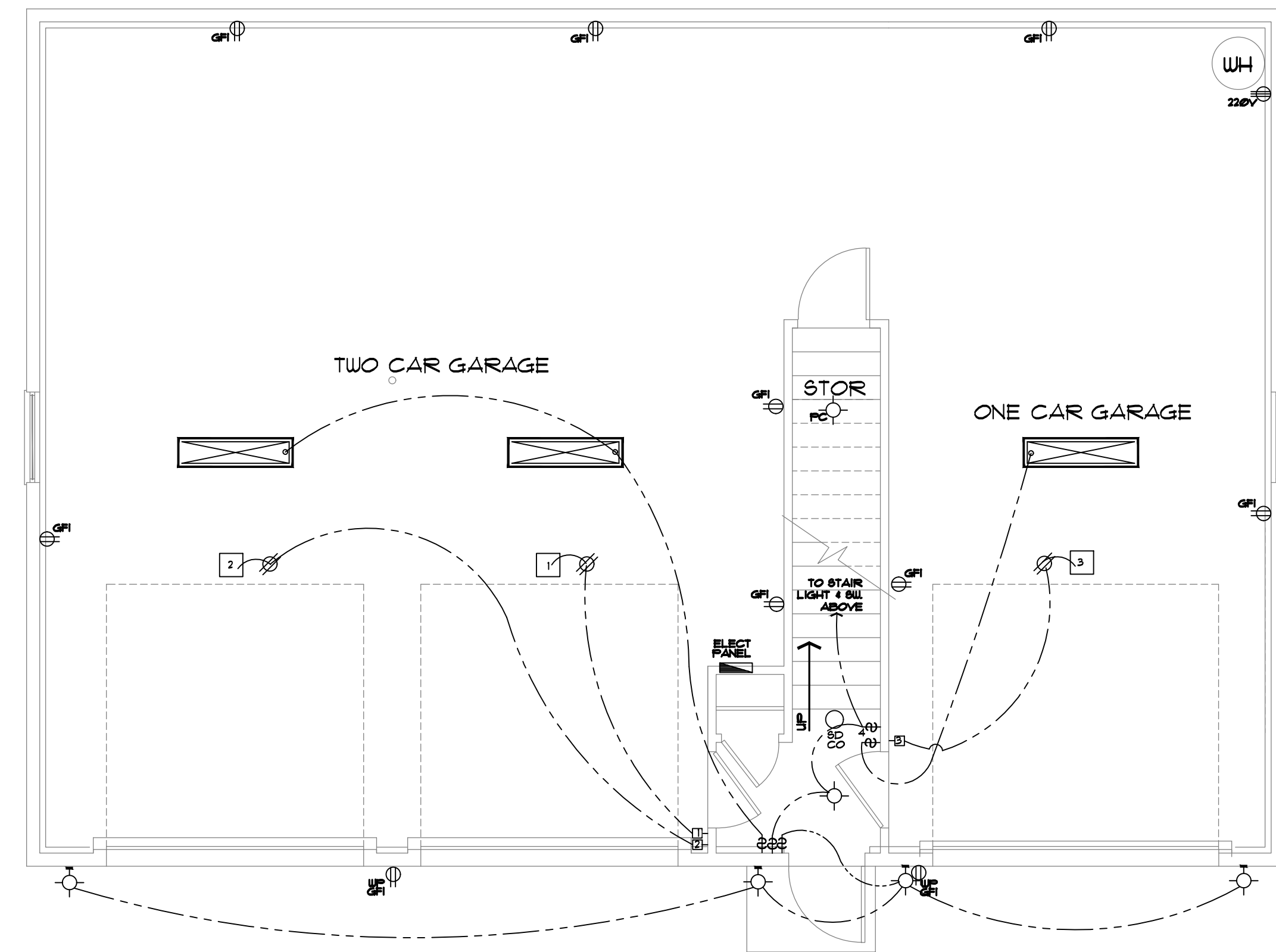
SYMBOL LEGEND	
	100V RECEPTACLE • CEILING FOR DOOR OPENER
	DUPLEX 100V RECEPTACLE
	WEATHERPROOF OUTLET
	GROUND FAULT INTERRUPT RECEPTACLE
	220V RECEPTACLE
	SPLIT RECEPTACLE
	FLOOR DUPLEX RECEPTACLE
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	SWITCH W/ DIMMER
	SWITCH W/ TIMER
	CEILING LIGHT FIXTURE
	RECESSED LIGHT FIXTURE W/ NON BREAKABLE LENS
	VAPOR PROOF LIGHT FIXTURE W/ NON BREAKABLE LENS
	FULL CHAIN LIGHT FIXTURE
	WALL FIXTURE
	48" FLUORESCENT LIGHT FIXTURE
	48" CONCEALED FLOR. LIGHT FIXTURE
	RECESSED ADJ. CEILING SPOTLIGHT
	CEILING FAN/LIGHT
	JUNCTION BOX
	COMB. LIGHT & EXHAUST FAN
	EXHAUST FAN (50 CFM. MIN)
	CEIL'S MOUNTED AC/DC SMOKE DETECTOR W/ BATTERY BACKUP INTERCONNECTED
	CEIL'S MOUNTED COMBINATION AC/DC SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP INTERCONNECTED
	TELEPHONE OUTLET
	DOOR BELL BUTTON SWITCH
	GARAGE DOOR OPENER SWITCH

ELECTRICAL NOTES -

1. ELECTRICAL LAYOUT IS GENERAL AND NOT REQUIRED BY CODE. OWNER SHALL HAVE OPTIONS AS TO INSTALLATION BY ELECTRICAL CONTRACTOR.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE ELECTRIC CODES, LATEST ADOPTED EDITION, AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
3. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF ELECTRICAL INSTALLATION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM IN PROPER WORKING ORDER.
4. ALL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A WORKMAN LIKE MANNER.
5. COORDINATE ALL WORK WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
6. MEET ALL STANDARD REQUIREMENTS OF ELECTRIC COMPANY FOR INSTALLATION.
7. PROVIDE ALL NEW MATERIALS BEARING UNDERWRITER'S LABEL.



2 GAR. APARTMENT ELECTRICAL PLAN
 EI SCALE: 1/4"=1'-0"



1 GARAGE ELECTRICAL PLAN
 EI SCALE: 1/4"=1'-0"

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